

AGENDA
PLANNING COMMISSION
REGULAR MEETING
3:30 p.m. Tuesday, February 4, 2025
City Council Chambers, 2nd Floor of City Hall
823 Rosenberg, Galveston, Texas

**One or more members of the Planning Commission may attend the meeting by
videoconference.**

**A quorum of the members of the Planning Commission will be physically present at the
meeting location.**

1. Call Meeting To Order
2. Attendance
3. Conflict Of Interest
4. Approval Of Minutes
 - A. December 3, 2024 – Regular Meeting

Documents:

[12-03-2024 PC MINUTES.PDF](#)

- B. January 7, 2025 – Regular Meeting

Documents:

[01-07-2025 PC MINUTES.PDF](#)

5. Public Comment

Request to Address Commission on Agenda Items Without Public Hearings and Non-Agenda Items (three-minute maximum per speaker. If speaking through a translator, six-minute maximum per speaker)

6. Public Hearings

- A. DUNE MITIGATION

1. 24BF-016 (415 East Beach Drive) Notice Of Mitigation For Disturbance Of Dunes And Dune Vegetation. Property Is Legally Described As Islander East Condo, A Subdivision In The City And County Of Galveston, Texas. Applicant: John Weldon – J.A. Weldon Construction Property Owner: Islander East Association

Documents:

[24BF-016 - PC MEMO PKT.PDF](#)

7. New Business And Associated Public Hearings

A. BEACHFRONT CONSTRUCTION CERTIFICATE/DUNE PROTECTION PERMITS

1. 24BF-132 (11345 Beachside Drive) Request For Beachfront Construction Certificate And Dune Protection Permit To Include Proposed Construction Of A Large-Scale Single-Family Residence With Unreinforced Fibercrete Paving Beneath The Footprint Of The Structure And An Unreinforced Fibercrete Driveway. Property Is Legally Described As Lot 909, Beachside Village Section 9 (2024), Beachside Village, A Subdivision In The City And County Of Galveston, Texas. Applicant: Alejandra Lorenzo Property Owner: Debbie Ann Walcott

Documents:

[STAFF PACKET 24BF-132.PDF](#)

B. CHANGE OF ZONING

1. 25P-004 (2712-2928 11 Mile Road) Request For A Change Of Zoning In Order To Designate The Sea Breeze Subdivision As A Restricted Residential, Single-Family (R-0) Zoning District. Properties Are Legally Described As Abstract 121 Page 48 Lots 1 Through 11 Sea Breeze And Abstract 121 Page 48 North 75 Feet Of Lot 12 (12-1) Sea Breeze, In The City And County Of Galveston, Texas. Applicant: Development Services Department

Documents:

[25P-004 STF PKT.PDF](#)

C. LICENSE TO USE

1. 25P-003 (Adjacent To 312 17th Street) Request For A License To Use In Order To Construct Stairs. Adjacent Property Is Legally Described As M.B. Menard Survey, South 35-1 Feet Of Lot 1(1-3), Block 556, In The City And County Of Galveston, Texas. Applicant: Jeremy Slade, Stonewater Inc. Adjacent Property Owner: Linda Jonjock Easement Holder: City Of Galveston

Documents:

[25P-003 STF PKT.PDF](#)

D. PLANNED UNIT DEVELOPMENT

1. 25P-001 (13722-14000 San Luis Pass Road/FM 3005) Request For A Planned Unit Development (PUD) Overlay District For A "Auto Fueling Station". Property Is Legally Described As Part Of Lots 32 And 45 (45-5), And Adjacent Abandoned Street, Trimble And Lindsey Survey, Section 3, In The City And County Of Galveston, Texas. Applicant: Nasser Zia Property Owner: Beach Three LLC Series 5

Documents:

[25P-001 - STF PKT.PDF](#)

8. Adjournment

I certify that the above Notice of Meeting was posted in a place convenient to the public in compliance with Chapter 551 of the Texas Government Code on January 31, 2025 at 3:00 P.M.

Prepared by: Karina Rosales, Planning Technician

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), PERSONS IN NEED OF A SPECIAL ACCOMMODATION TO PARTICIPATE IN THIS PROCEEDING SHALL, WITHIN THREE (3) DAYS PRIOR TO ANY PROCEEDING, CONTACT THE CITY SECRETARY'S OFFICE, SUITE 201, 823 ROSENBERG, GALVESTON, TX 77550 (409-797-3510)

MEMBERS OF CITY COUNCIL MAY BE ATTENDING AND PARTICIPATING IN THIS MEETING



City of Galveston

MINUTES OF THE PLANNING COMMISSION OF THE CITY OF GALVESTON REGULAR MEETING – December 3, 2024

CALL MEETING TO ORDER

The meeting was called to order at 3:33 p.m. The start time was delayed due to technical issues.

ATTENDANCE

Members Present: Rejone Edwards, Stan Humphrey, Anthony Rios, Tom Singleton, Rusty Walla,

Members Absent: Mary Jan Lantz, John Lightfoot, Councilmember Beau Rawlins

Staff Present: Tim Tietjens, Development Services Executive Director; Daniel Lunsford, Senior Planner; Hunter Cummings, Deputy Coastal Resources Manager; Donna Fairweather, Sr. Assistant City Attorney; Karina Rosales, Planning Technician

CONFLICT OF INTEREST

None

APPROVAL OF MINUTES

The November 19, 2024, Regular Meeting minutes were accepted as presented.

**Chairperson Walla noted that case 24P-044 was being deferred to the January 7, 2025, meeting date. The Landmark Commission recommended deferral of this request at the December 2, 2024, meeting until their December 16, 2024, meeting for the applicant to be present to answer questions and provide more detailed information about the proposal and site conditions. This deferred the Planning Commission case 24P-044 to the January 7, 2025, meeting date.

LICENSE TO USE

24P-044 (Adjacent to 1522 Ball / Avenue H) Request for a License to Use in order to place a charging station in the City of Galveston right-of-way. Adjacent property is legally described as M.B. Menard Survey, Lot 12, Block 315, in the City and County of Galveston, Texas.

Applicant: Jason Johnston

Property Owners: Jason and Danielle Johnston

Chairperson Walla made a motion to defer case 24P-044 to the January 7, 2025, regular meeting.

Commissioner Rios seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor: Humphrey, Rios, Singleton, Walla,

Opposed: None

Absent: Edwards, Lantz, Lightfoot, Councilmember Beau Rawlins

Non-voting participant: None

The motion passed.

**Chairperson Walla paused the meeting at 3:35pm. due to technical issues. The meeting resumed at 3:36pm.

PUBLIC COMMENT

None

Commissioner Edwards arrives at 3:37pm.

NEW BUSINESS AND ASSOCIATED PUBLIC HEARINGS

BEACHFRONT CONSTRUCTION AND DUNE PROTECTION PERMIT

24BF-095 (11351 Beachside Drive) Request for Beachfront Construction Certificate and Dune Protection Permit to include proposed construction of a large-scale single-family residence with unreinforced fibercrete paving beneath the footprint of the structure and an unreinforced fibercrete driveway. Property is legally described as Lot 906, Beachside Village Section 9 (2024), Beachside Village, a subdivision in the City and County of Galveston, Texas.

Applicant: Stanley A Culwell

Property Owner: John Olt

Staff presented the staff report.

Chairperson Walla opened the public hearing on the case. The public hearing was closed, and the Chairperson called for a motion.

Commissioner Rios made a motion to approve the request with Staff's Recommendations.

Commissioner Edwards seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

| | |
|-------------------------|--|
| In favor: | Edwards, Humphrey, Rios, Singleton, Walla, |
| Opposed: | None |
| Absent: | Lantz, Lightfoot, Councilmember Beau Rawlins |
| Non-voting participant: | None |

The motion passed.

24BF-112 (11341 Beachside Drive) Request for Beachfront Construction Certificate and Dune Protection Permit to include proposed construction of a large-scale single-family residence with unreinforced fibercrete paving beneath the footprint of the structure and an unreinforced fibercrete driveway. Property is legally described as Lot 911, Beachside Village Section 9 (2024), Beachside Village, a subdivision in the City and County of Galveston, Texas.

Applicant: Alejandra Lorenzo

Property Owner: Robert Todd & Erica J Binkley

Staff presented the staff report.

Chairperson Walla opened the public hearing on the case. Kevin Peterson, A representative for the applicant, gave a presentation to the commission. The public hearing was closed, and the Chairperson called for a motion.

Chairperson Walla made a motion to approve the request with Staff's Recommendations.

Commissioner Edwards seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

| | |
|-----------|--|
| In favor: | Edwards, Humphrey, Rios, Singleton, Walla, |
| Opposed: | None |

Absent: Lantz, Lightfoot, Councilmember Beau Rawlins
Non-voting participant: None

The motion passed.

PLANNED UNIT DEVELOPMENT

24P-042 (101 14th Street, 1405-1415 Harborside Drive) Request for a Planned Unit Development (PUD) Overlay District for a “Restaurant, Drive-In/Through”, “Parking Lot, Commercial Surface Parking Area”, and “Electric Vehicle Charging Station”. Properties are legally described as M.B. Menard Survey, Lots 4, 5, 6, and the North 70 feet of Lot 7 (7-1), Block 674, in the City and County of Galveston, Texas.

Applicant: Michael Gaertner

Property Owner: Christopher and Kathleen Frederickson

Staff presented the staff report and reported that 18 public hearing notices were sent, and four returned in opposition and one with no comment.

Chairperson Walla opened the public hearing on the case. The applicant, Michael Gaertner, gave a presentation to the commission and requested the case be deferred to the January 7, 2025, regular meeting. The public hearing was closed, and the Chairperson called for a motion.

Chairperson Walla made a motion to defer the request to the January 7, 2025, regular meeting per the applicants request.

Commissioner Humphrey seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

| | |
|-------------------------|--|
| In favor: | Edwards, Humphrey, Rios, Singleton, Walla, |
| Opposed: | None |
| Absent: | Lantz, Lightfoot, Councilmember Beau Rawlins |
| Non-voting participant: | None |

The motion passed.

DISCUSSION ITEMS

The Chairperson opened the “Discussion of quarterly joint meetings with City Council beginning January of 2025 (B. Rawlins)”. Legal recommended to remove the item from the meeting agenda to allow the requestor to be present.

Staff opened the “2025 Meeting Schedule (Staff)” discussion item.

THE MEETING ADJOURNED AT 4:17 PM





City of Galveston

MINUTES OF THE PLANNING COMMISSION OF THE CITY OF GALVESTON
REGULAR MEETING – January 7, 2025

CALL MEETING TO ORDER

The meeting was called to order at 3:30 p.m.

ATTENDANCE

Members Present: Stan Humphrey, Mary Jan Lantz, John Lightfoot, Anthony Rios, Tom Singleton,

Members Absent: Rejone Edwards, Rusty Walla, Councilmember Beau Rawlins

Staff Present: Tim Tietjens, Development Services Executive Director; Catherine Gorman, AICP, Assistant Director/HPO; Daniel Lunsford, Senior Planner; Donna Fairweather, Sr. Assistant City Attorney; Karina Rosales, Planning Technician.

CONFLICT OF INTEREST

None

PUBLIC COMMENT

None

OLD BUSINESS AND ASSOCIATED PUBLIC HEARINGS

LICENSE TO USE

24P-044 (Adjacent to 1522 Ball / Avenue H) Request for a License to Use in order to place a charging station in the City of Galveston right-of-way. Adjacent property is legally described as M.B. Menard Survey, Lot 12, Block 315, in the City and County of Galveston, Texas.

Applicant: Jason Johnston

Property Owners: Jason and Danielle Johnston

Staff presented the staff report and reported that 25 public hearing notices were sent, and three returned in opposition.

Vice-Chairperson Lantz opened the public hearing on the case. Jason Johnston, the applicant and property owner, gave a presentation to the commission. The public hearing was closed, and the Vice-Chairperson called for a motion.

Commissioner Rios made a motion to approve the request with Staff's Recommendations.

Commissioner Lightfoot seconded.

The Vice-Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor: Humphrey, Lantz, Lightfoot, Rios
Opposed: None
Absent: Edwards, Walla, Councilmember Beau Rawlins
Abstained: Singleton
Non-voting participant: None

The motion passed.

PLANNED UNIT DEVELOPMENT

24P-042 (101 14th Street, 1405-1415 Harborside Drive) Request for a Planned Unit Development (PUD) Overlay District for a “Restaurant, Drive-In/Through”, “Parking Lot, Commercial Surface Parking Area”, and “Electric Vehicle Charging Station”. Properties are legally described as M.B. Menard Survey, Lots 4, 5, 6, and the North 70 feet of Lot 7 (7-1), Block 674, in the City and County of Galveston, Texas.

Applicant: Michael Gaertner

Property Owner: Christopher and Kathleen Frederickson

Staff presented the staff report and reported that 19 public hearing notices were sent, three returned in opposition, and one with no comment.

Vice-Chairperson Lantz opened the public hearing on the case. Michael Gaertner, the applicant, gave a presentation to the commission. The public hearing was closed, and the Vice-Chairperson called for a motion.

Commissioner Humphrey made a motion to recommend denial of the request as recommended in the staff report.

Commissioner Rios seconded.

The Vice-Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor: Humphrey, Lantz, Lightfoot, Rios, Singleton
Opposed: None
Absent: Edwards, Walla, Councilmember Beau Rawlins
Non-voting participant: None

The motion passed.

NEW BUSINESS AND ASSOCIATED PUBLIC HEARINGS

PLANNED UNIT DEVELOPMENT

24P-045 (2018 60th Street) Request to revoke a Planned Unit Development (PUD) approved under Ordinance 22-065. Property is legally described as Lot 8R, of Two West, in the City and County of Galveston Texas.

Applicant: Development Services Department

Property Owner: Tricon Enterprises, Inc.

Staff presented the staff report and reported that 20 public hearing notices were sent, one returned in favor, and one with no comment.

Vice-Chairperson Lantz opened the public hearing on the case. The public hearing was closed, and the Vice-Chairperson called for a motion.

Vice-Chairperson Lantz made a motion to recommend approval of the request.

Commissioner Humphrey seconded.

The Vice-Chairperson called for questions or comments from the Commission. The following votes were cast:

| | |
|-------------------------|---|
| In favor: | Humphrey, Lantz, Lightfoot, Rios, Singleton |
| Opposed: | None |
| Absent: | Edwards, Walla, Councilmember Beau Rawlins |
| Non-voting participant: | None |

The motion passed.

THE MEETING ADJOURNED AT 4:28 PM





City of Galveston

DEVELOPMENT SERVICES

Coastal Resources Division

CoastalResources@GalvestonTX.Gov | 409-797-3660 | www.galvestontx.gov

To: Rusty Walla, Planning Commission Chairperson, City of Galveston Planning Commission
From: Kyle Clark, Coastal Resources Manager
Date: Thursday, January 23, 2025
Re: **24BF-016 (415 East Beach Drive)** Notice of mitigation for disturbance of dunes and dune vegetation. Property is legally described as Islander East Condo, a subdivision in the City and County of Galveston, Texas.
Applicant: John Weldon – J.A. Weldon Construction
Property Owner: Islander East Association

Summary:

The City of Galveston Dune Protection and Beach Access Plan designates staff as the authority to review and issue Beachfront Construction Certificates/Dune Protection Permits for the following projects: new driveways, slabs, ground level enclosures, pedestrian access dune walkovers, sand fences, perimeter fencing, fill projects, dune restoration projects, and other construction activities located 50-feet landward of the Dune Protection Line¹.

Ordinarily projects such as these are administratively reviewed and approved by staff and do not require a public hearing with the Planning Commission. However, the Dune Protection Act² requires the applicant notify property owners immediately adjacent to the construction site that a public hearing will be held when a proposed construction activity will result in adverse effects to dunes or dune vegetation and mitigation is required.

Description

The applicant is requesting approval to demolish an existing walkover and to construct a new walkover approximately 443 feet long, 5 feet wide and will maintain a height of 5 feet over the tallest dune crest. Walkover will end in a switchback style ramp that will end at the line of vegetation or 10 feet seaward of. The new walkover also has a 12x12 observation deck at a height of 5 feet.

The project will include mitigation of 18 square feet due to new post installation. Incidental mitigation is included in the event additional damages occur. If damages are determined 375 square feet of mitigation will be included only after the Coastal Resources Division has inspected and verified the damages.

¹ City of Galveston Dune Protection and Beach Access Plan, Section D(5)

² Texas Natural Resources Code § 63.056



City of Galveston

DEVELOPMENT SERVICES

Coastal Resources Division

CoastalResoures@GalvestonTX.Gov | 409-797-3660 | www.galvestontx.gov

Public notice of the February 4, 2025, Planning Commission meeting was sent to 109 adjacent property owners most being the residents of the Islander East Condominium. Public notice was sent to adjacent property owners as an opportunity to provide input on the proposed activities.

Planning Commission:

No action from the Planning Commission is needed at the public hearing. Before issuance of a Beachfront Construction / Dune Protection Permit, Staff will ensure the proposed construction activities conform to the City's Dune Protection and Beach Access Plan and comments provided by the Texas General Land Office (GLO). A copy of the GLO comment letter is attached.

A – Aerial Map

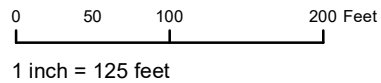
**Address 415 East Beach Dr
Case #24BF-016**

**BEG and FIRM Coastal Map
Legend**

**BEG Shoreline Change Rates
1950s-2019 - End Point Rate (ft/yr)**

- ▲ Eroding (-1ft or more)
- ◆ Stable (-1ft to 1 ft)
- ▼ Accreting (+1ft or more)

- Parcels
- FIRM Panels
- 0.2% Annual Chance
- Zone A
- Zone AE, Zone AO
- Zone VE
- Zone X
- Open Water
- Subdivisions
- 1000ft from MHT
- Footprint



Data Sources:

*Aerial Imagery and Parcel Data from Galveston CAD,
Shoreline Change Data from U.T. Bureau of Economic
Geology; Flood Insurance Rate Map from FEMA.*

**Map prepared by the City of Galveston
Development Services Department, Coastal
Resources Division (RAndrews) - 3/4/2024**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

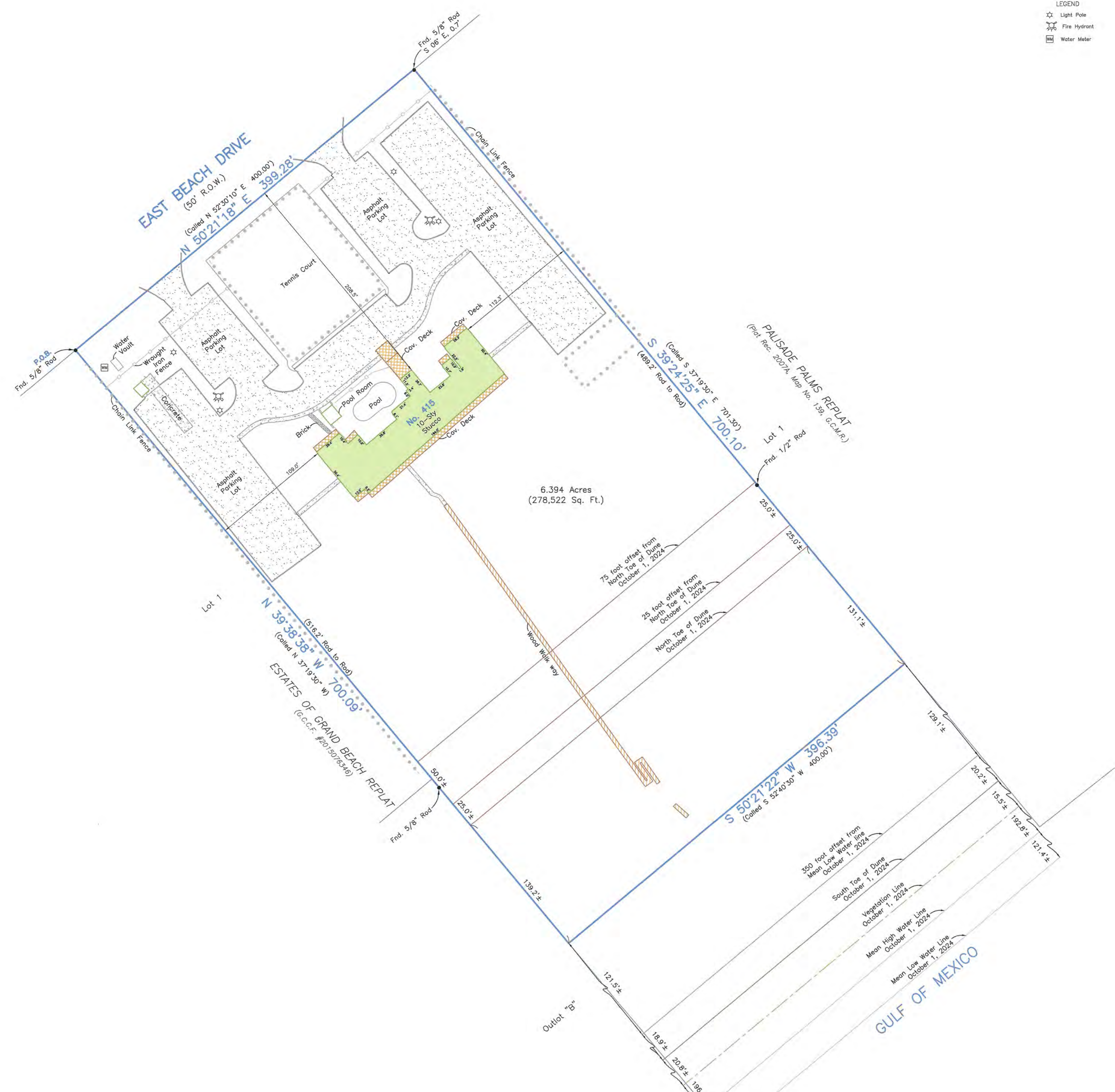
The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases.



B – Topographic Surveys

LEGEND
 ☆ Light Pole
 ⦿ Fine Hydrant
 ◻ Water Meter

SCALE: 1" = 50'



The Mean High Water Line and the Mean Low Water Line depicted hereon were located on October 1, 2024, and are referenced to the tide gauge located at the Galveston Pleasure Pier (NOMA ID# 871510). The location of the MHW and MLW were determined by transferring the NOAA determined MHW and MLW elevations that are published for the N.G.S. Monument "WALL" (PID AW0588) to the site using RTK GPS techniques. The elevation used for the N.G.S. Monument "WALL" is 14.11 feet, the elevation used for the Mean High Water is 1.17 feet, and the elevation used for Mean Low Water is -0.30 feet.

PROPERTY DESCRIPTION

Survey of that certain tract located in the East End of Galveston Island, in the City and County of Galveston, Texas, being that same tract described in that certain Declaration and Master Deed for Islanders East recorded in Volume 2112, Page 149 of the Deed Records of Galveston County, Texas, said tract being more particularly described by metes and bounds as follows:

BEGINNING at the Northeast corner of the ESTATES OF GRAND BEACH REPLAT, a Subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Galveston County Clerk's File Number 2015076346, said corner being the Northwest corner of said Islander's East tract and being on the Southern line of East Beach Drive, a 50 feet wide right-of-way;

THENCE North 50°21'18" East (called North 52°30'10" East), along the Southern line of said East Beach Drive, a distance of 399.28 feet (called 400.00 feet) to the Northwest corner of Lot One (1), of PALISADE PALMS REPLAT, a Subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Plat Record 2007A, Map Number 139 in the Map Records of Galveston County, Texas, said corner being the Northeast corner of said Islanders East tract, and from which corner a found 5/8 inch rod bears South 06° East, 0.7 feet;

THENCE South 39°24'25" East (South 37°19'30" East), along the Western line of said Lot 1 of PALISADE PALMS REPLAT, at 489.2 feet passing a 1/2 inch rod found for point on line, and continuing for a total distance of 700.10 feet (called 701.30 feet) to the Southeast corner of said Islanders East tract;

THENCE South 50°21'22" West (called South 52°40'30" West), a distance of 396.39 feet (called 400.00 feet) to the Southwest corner of said Islanders East tract, said corner being on the Eastern line of said ESTATES OF GRAND BEACH REPLAT;

THENCE North 39°38'38" West (called North 37°19'30" West), along the common line between said Islanders East tract and said ESTATES OF GRAND BEACH REPLAT, at 183.8 feet passing a 5/8 inch rod found for point on line and continuing for a total distance of 700.09 feet to the POINT OF BEGINNING and containing within said boundaries a calculated area of 6.394 acres (278,522 square feet) of land, more or less.

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.

Stephen C. Blaskey
 Stephen C. Blaskey
 Registered Professional
 Land Surveyor No. 5856



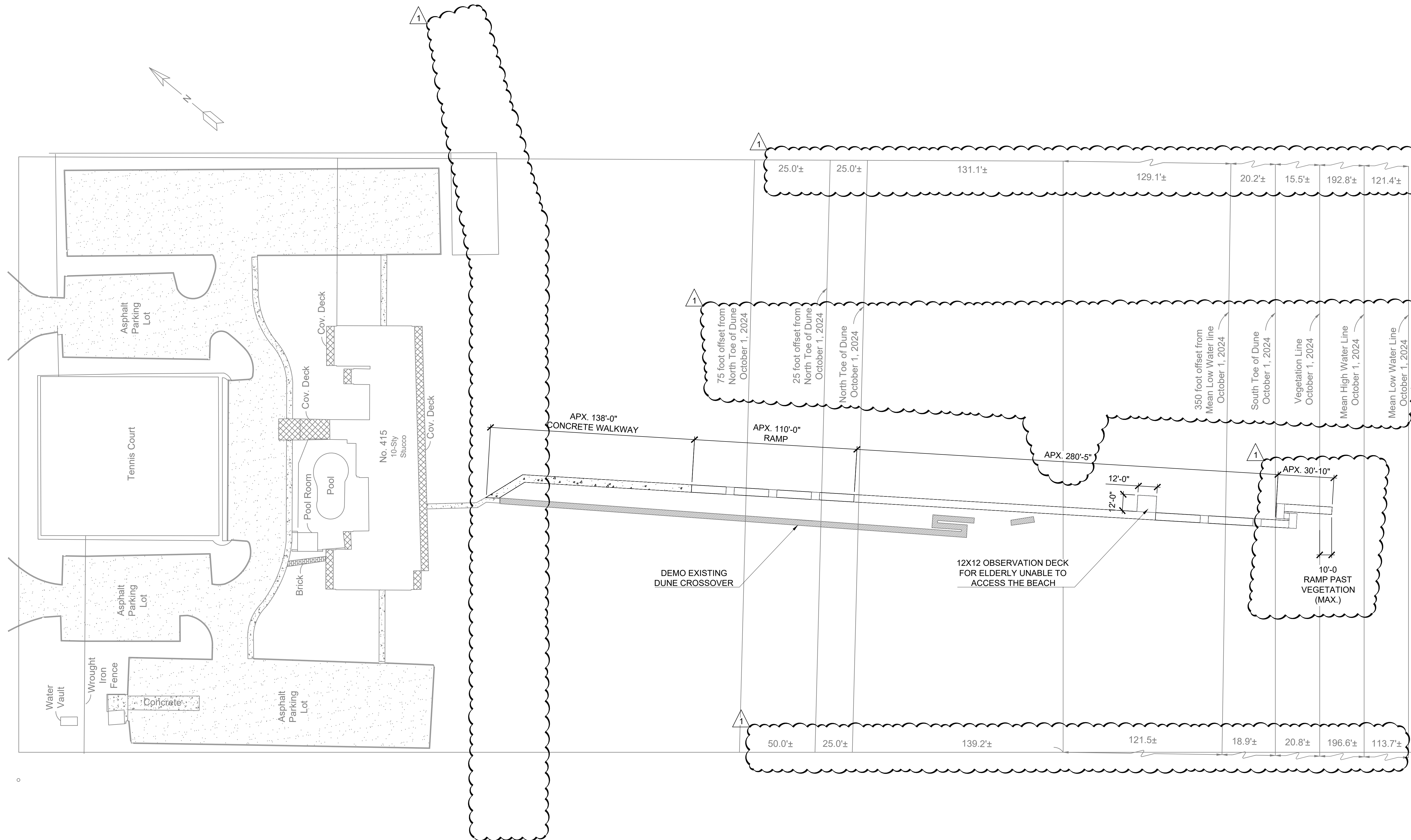
GALVESTON OFFICE
 Registration Number: 10193855
 (409) 740-1517 www.hightidesurveying.com
 8011 HARBORSIDE DRIVE | GALVESTON, TX 77554
 Mailing | P.O. BOX 16142 | GALVESTON, TX 77552

SURVEY DATE: OCTOBER 1, 2024
 FILE No.: 4160-0000-0102-0000
 DRAFTING: AM
 JOB No.: 24-0444

NOTES:
 1) This property does lie within the 100 Year Flood Plain as established by the Federal Emergency Management Agency.
 2) This property is subject to any restrictions of record as established by the City, Plat, or Subdivision Covenants and Restrictions; may also be subject to easements and setbacks for utility services and power lines as individually recorded or established by OSHA (call your power company).
 3) Bearings based on Monumentation of the South R.O.W. line of East Beach Drive.
 4) Deed references shown hereon are not a statement of ownership.
 5) Elevations are shown in feet above Mean Sea Level NAVD '88 Datum as tied to NGS Monument HOCSD 62.
 6) Surveyed without benefit of a Title Report.

C – Site Plans and Drawings

LEGEND

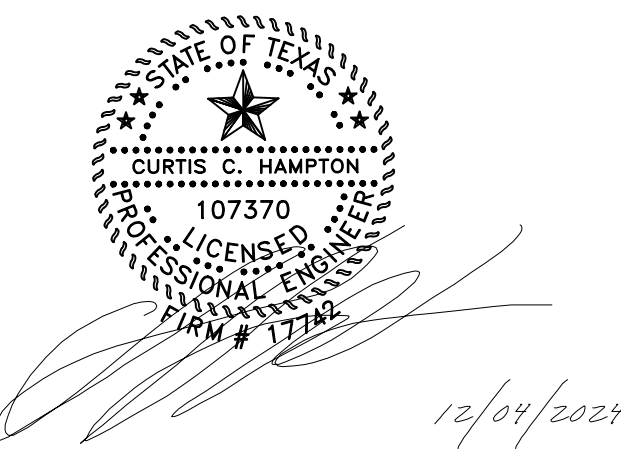


- NOTES**
- EXISTING CONDITIONS AND SURVEY DATA ARE FROM SURVEY NO. 638-0000-0217-000 BY HIGHTIDE LAND SURVEYING LLC.
 - ELEVATIONS SHOWN IN FT. ABOVE MSL - MEAN SEAL LEVEL NAVD 88 AS TIED TO NGS MONUMENT HGCS D 62.
 - 6X6 POSTS ARE RECOMMENDED TO REDUCE THE POSSIBILITY OF WARPING & BOWING COMMON WITH TREATED NON-SQUARE MATERIALS.
 - ALL LUMBER SHALL BE MINIMUM PRESSURE TREATED MATERIAL. (SEE FRAMING & MATERIAL NOTES ON S-3.00 FOR MORE DETAILS)

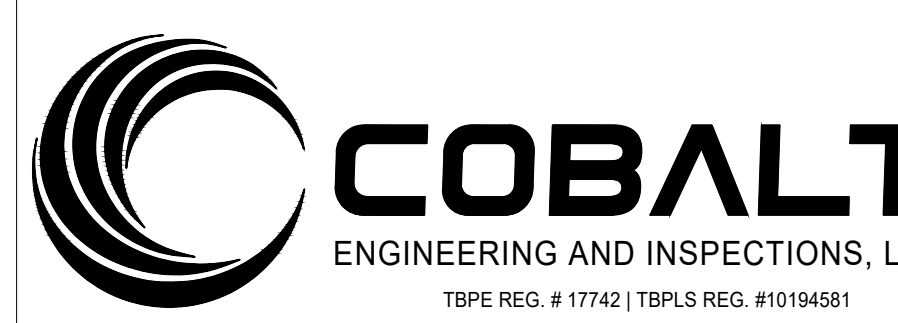
Revisions:

| # | DATE | DESCRIPTION OF CHANGE |
|---|------------|-------------------------|
| 0 | 02/29/2024 | ISSUED FOR CONSTRUCTION |
| 1 | 12/04/2024 | CITY COMMENTS |

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR UTILIZED IN ANY FORM WITHOUT PRIOR WRITTEN AUTHORIZATION OF "COBALT".



NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

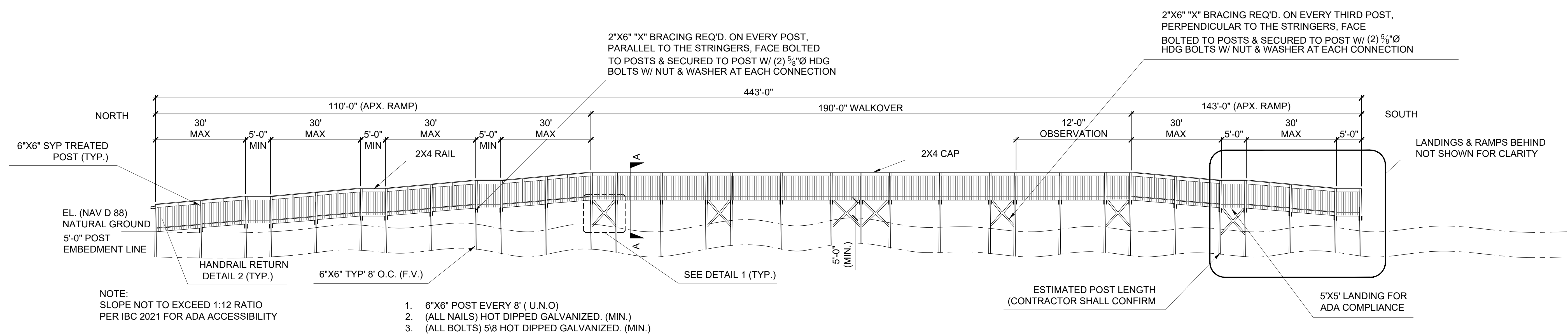


CLIENT:
J.A. WELDON CONSTRUCTION
PROJECT LOCATION OR ADDRESS:
415 EAST BEACH DRIVE
GALVESTON, TEXAS 77550

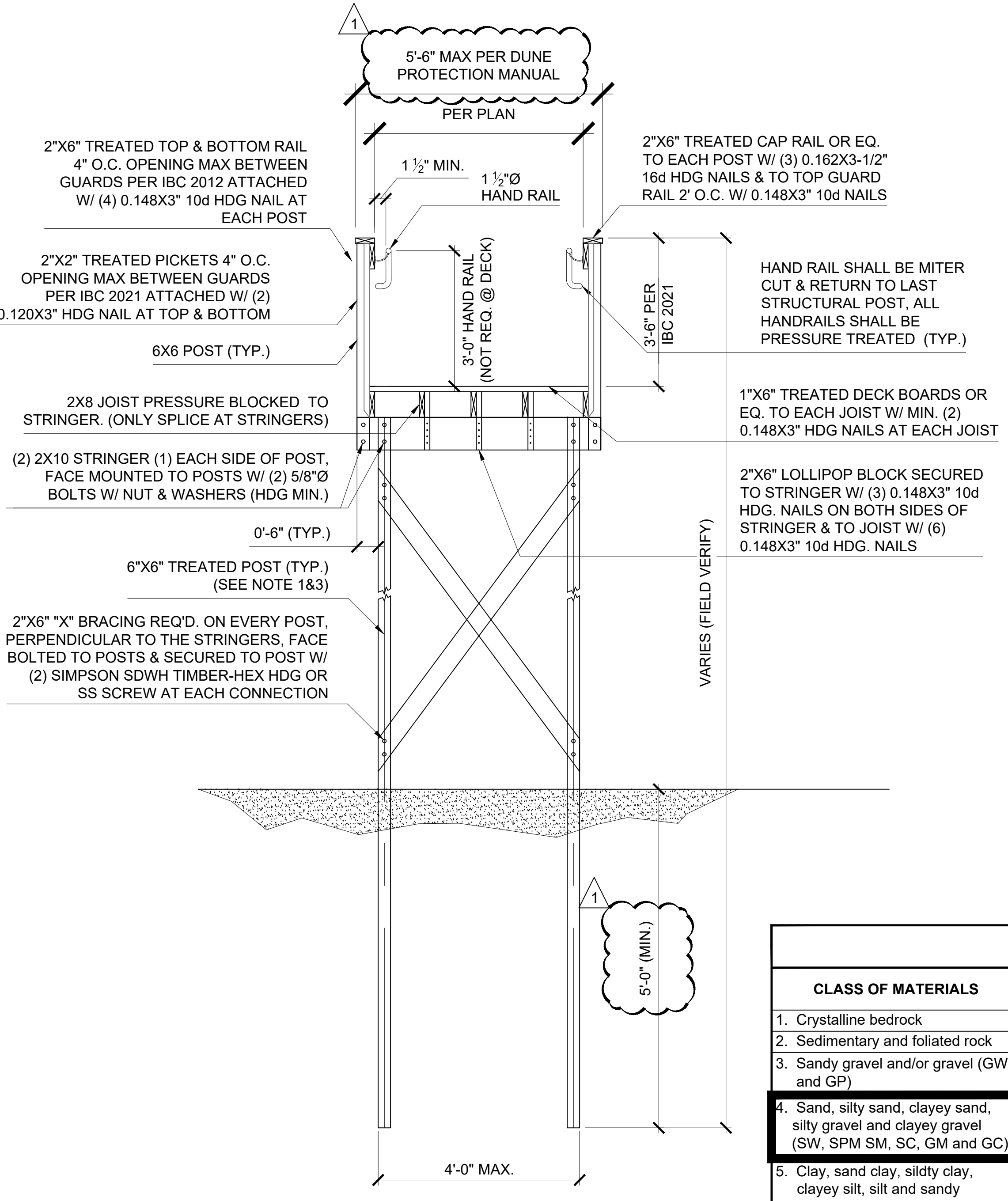
DUNE WALKOVER PLANS 1

| | | | |
|--------------|------------|-------------|-----------------|
| DESIGNED BY: | JMH | CHECKED BY: | CCH |
| PROJECT #: | 23-0367 | SCALE: | N.T.S. |
| DATE: | 02/29/2024 | | 23-0367- S-1.00 |

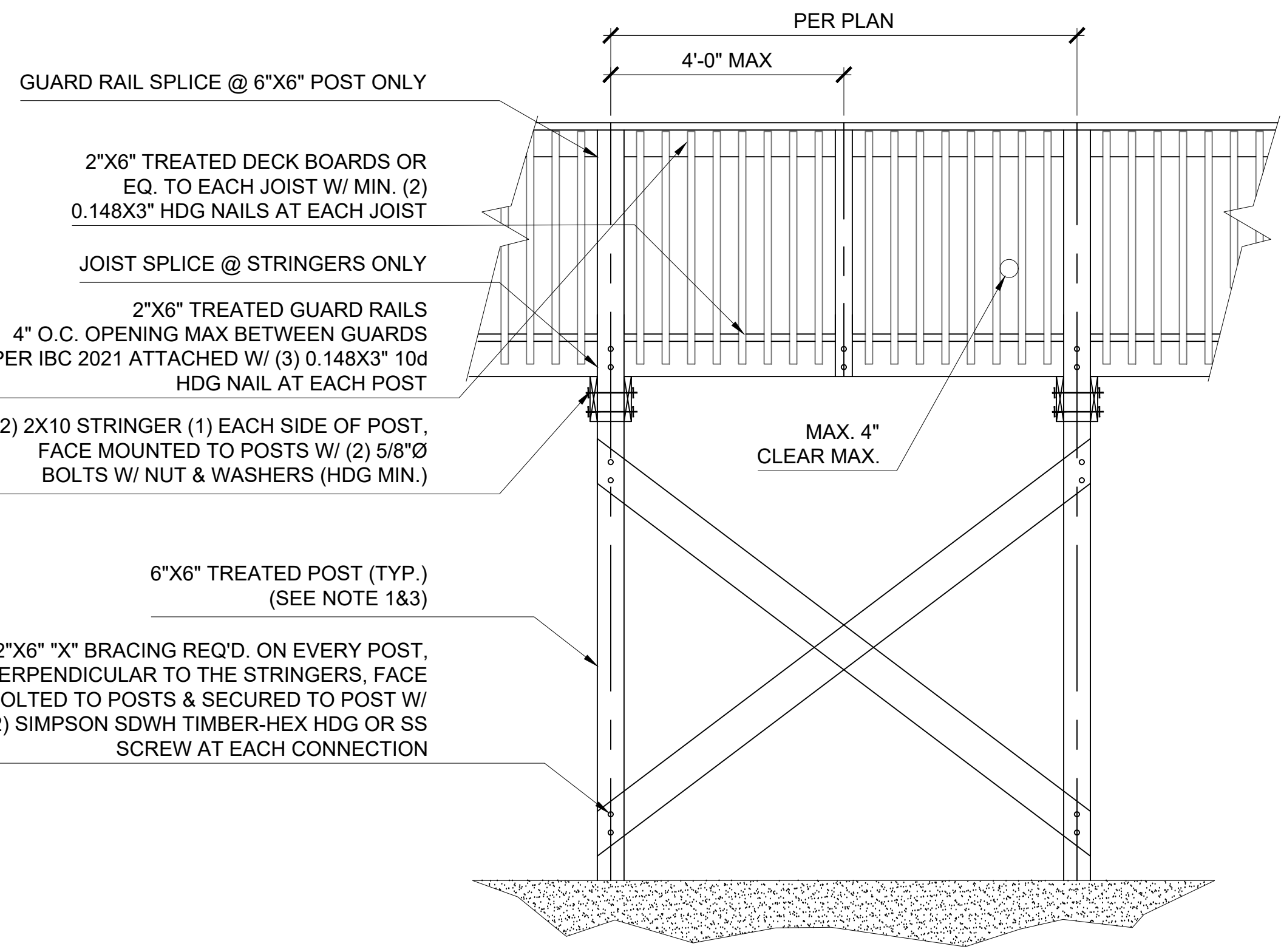
01 SITE PLAN
1/32" = 1'-0"



02 ELEVATION VIEW
3/32" = 1'-0"



A SECTION A-A
S2.00 N.T.S.



1 DETAIL 1
S2.00 N.T.S.

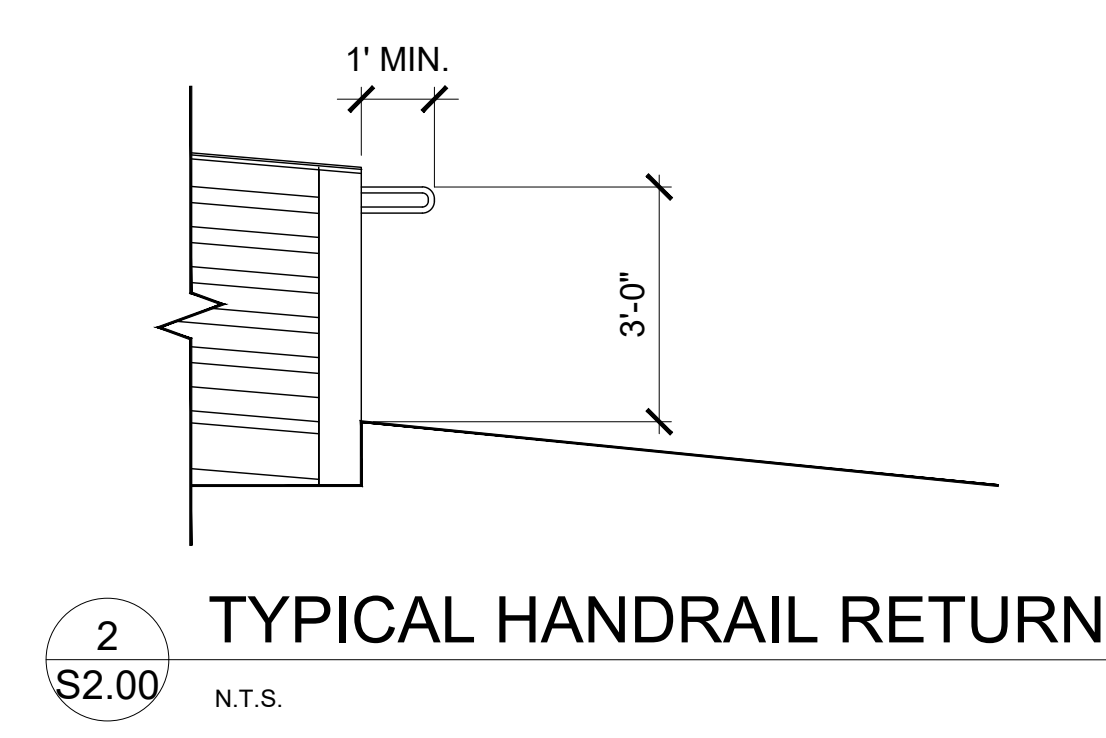


TABLE 1806.2 PRESUMPTIVE LOA-BEARING VALUES

| CLASS OF MATERIALS | CLASS OF MATERIALS | LATERAL BEARING PRESSURE (psf/ft below natural grade) | | LATERAL SLIDING RESISTANCE | |
|---|--------------------|---|------|----------------------------|-----------------|
| | | | | Coefficient of friction, | Cohesion (psf), |
| 1. Crystalline bedrock | 12,000 | 1,200 | 0.70 | -- | |
| 2. Sedimentary and foliated rock | 4,000 | 400 | 0.35 | -- | |
| 3. Sandy gravel and/or gravel (GW and GP) | 5,000 | 200 | 0.5 | -- | |
| 4. Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SPM, SM, SC, GM and GC) | 2,000 | 150 | 0.25 | -- | |
| 5. Clay, sand clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH, and CH) | 1,500 | 100 | -- | 130 | |

For SI: 1 Pound per square foot = 0.0479 kPa, 1 pound per square foot = 0.157 kPa/m
 a. Coefficient to be multiplied by the dead load.
 b. Cohesion value to be multiplied by the contact area, as limited by Section 1806.3.2.

GENERAL NOTES & COMPLIANCE INFORMATION

- DUNE WALKOVERS SHALL NOT EXCEED 6' IN WIDTH, THE DECK OR FLOOR OF WHICH SHALL BE CONSTRUCTED AT A HEIGHT ABOVE THE HIGHEST DUNE OF NOT LESS THAN THE WIDTH OF THE WALKOVER, AND MAINTAIN THIS HEIGHT OVER THE ENTIRE DUNE AREA.
- POSTS SHALL NOT BE SPACED CLOSER THAN 6' O.C AND IN SUCH A MANNER THAT NEW POSTS ARE NOT NEEDED IF WALKWAY NEEDS ELEVATING.
- ANY VEGETATION OR CONTOURS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED.
- DUNE WALKOVERS SHALL BE CONSTRUCTED TO MAINTAIN A 1/2" SPACING BETWEEN THE DECK BOARDS TO ALLOW RAIN & SAND TO PASS THROUGH THE DECK.
- THE WALKOVER MUST START AT THE NORTHERN BOUNDARY OF THE CRITICAL DUNE AREA AND SHALL END ON THE BEACH BEYOND ANY COPPICE MOUNDS, NO FURTHER THAN 10' SEAWARD OF THE VEGETATION LINE.
- ALL WALKOVERS BUILT IN PUBLIC AREAS SHALL BE CONSTRUCTED WITH (2) GUARD RAILS.
- ALL WALKOVERS SHALL BE CONSTRUCTED ACCORDING TO THE CURRENT IBC CODE REQUIREMENTS.
- IT SHALL BE THE DUTY OF THE PROPERTY OWNER TO ENSURE THE DUNE WALKOVER IS IN GOOD CONDITION OF REPAIR AND MAINTENANCE.
- ALL DUNE WALKOVER CONSTRUCTION, IMPROVEMENT OR REPAIR MUST BE PERMITTED THROUGH THE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT, CITY OF GALVESTON.
- NO HEAVY EQUIPMENT IS ALLOWED WITHIN THE DUNE PROTECTION AREA.
- NO CONCRETE IS ALLOWED WITHIN THE DUNE PROTECTION AREA.

FRAMING AND MATERIAL NOTES

- ALL LUMBER TO BE #1 SYP PRESSURE TREATED OR BETTER, UNLESS OTHERWISE NOTED
- ALL LUMBER IN DIRECT CONTACT W/ SALTWATER TO BE TREATED (2.SCCA) (POSTS ONLY)
- ALL NAILS AND FASTENERS SHALL BE HDG
- CARE MUST BE TAKEN TO ENSURE NAILS ARE NOT OVER DRIVEN
- THE ENGINEER-OF-RECORD MUST BE CONTACTED WHEN CONFLICTS IN STRUCTURAL REQUIREMENTS ARE DISCOVERED
- DO NOT PROCEED UNTIL RESOLUTION OF CONFLICTS HAVE BEEN RESOLVED.
- ALL DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR

LEGEND

--- DETAIL
 --- PAGE #

NOTES

- EXISTING CONDITIONS AND SURVEY DATA ARE FROM SURVEY NO. 4160-0000-0102-000 BY HIGHTIDE LAND SURVEYING LLC.
- ELEVATIONS SHOWN IN FT. ABOVE MSL - MEAN SEAL LEVEL NAVD 88 AS TIED TO NGS MONUMENT HGCS D 62.
- 6X6 POSTS ARE RECOMMENDED TO REDUCE THE POSSIBILITY OF WARPING & BOWING COMMON WITH TREATED NON-SQUARE MATERIALS.
- ALL LUMBER SHALL BE MINIMUM PRESSURE TREATED MATERIAL. (SEE FRAMING & MATERIAL NOTES ON THIS DWG. FOR MORE DETAILS)

Revisions:

| # | DATE | DESCRIPTION OF CHANGE |
|---|------------|-------------------------|
| 0 | 02/29/2024 | ISSUED FOR CONSTRUCTION |
| 1 | 12/04/2024 | CITY COMMENTS |

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR UTILIZED IN ANY FORM WITHOUT PRIOR WRITTEN AUTHORIZATION OF "COBALT".

12/04/2024

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

COBALT
ENGINEERING AND INSPECTIONS, LLC
TBPE REG. # 17742 | TBPLS REG. # 010194581
12005 DELANY ROAD • LA MARQUE, TEXAS • 409.354.5925

CLIENT:
J.A. WELDON CONSTRUCTION

PROJECT LOCATION OR ADDRESS:
415 EAST BEACH DRIVE
GALVESTON, TEXAS 77550

DUNE WALKOVER DETAILS & SECTIONS

DESIGNED BY: JMH CHECKED BY: CCH
 PROJECT #: 23-0367 SCALE: N.T.S.
 DATE: 02/29/2024 23-0367- S-2.00

D.1 – Mitigation Plan

Mitigation visual aid only





Switchbacks down to beach

Total required for mitigation will be 18 sq ft

South toe dune

Vegetation line

Total Mitigation for incidental impact will be 393 sq ft

New wood walkover. (blue)

North toe dune

Mitigation visual aid only

Existing walkover

New concrete path

Islander East Condos

D.2 – Required Mitigation Area







**D.3 – Mitigation area for
unanticipated impacts during
construction**







NO BEACH
CROSSING
BEHIND THE
DUNE

**E – GLO
Comment Letter**



TEXAS GENERAL LAND OFFICE
COMMISSIONER DAWN BUCKINGHAM, M.D.

January 3, 2025

Via Electronic Mail

Hunter Cummings
Deputy Coastal Resources Manager
Development Services Department
City of Galveston
3015 Market St.
Galveston, Texas 77550

Beachfront Construction Certificate and Dune Protection Permit in the City of Galveston

Site Address: 415 East Beach Drive, Galveston
Legal Description: Islander East Condo Module #818 Int 0.5139% Common Elements
Lot Applicant: Islander East Association c/o John Weldon, J.A. Weldon Construction
Case Number: 24BF-016
GLO ID No.: BDCOG-24-0044a

Dear Mr. Cummings:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes to demolish an existing dune walkover and construct a new 5-foot-wide ADA-compliant dune walkover with an observation deck. The applicant proposes on-site compensation for 18 square feet of dune vegetation that will be displaced by the posts of the walkover and compensation for impacts to up to 375 square feet of dune vegetation from a construction coordinator. According to the Bureau of Economic Geology, the area is accreting.

Based on the information provided to our office for review, we have the following comments:

Dune walkover

- The applicant proposes to construct a 6-foot-wide dune walkover with a 12-foot by 12-foot observation area at a height of 5 feet above the dunes, which does not comply with the height requirements for dune walkovers in the City's Plan. Section H(1) of the City's Plan requires the deck or floor of dune walkovers to be constructed at a height above the highest dune of not less than the width of said walkover.¹
 - Section H(12) of the City's Plan states that applicants for public dune walkovers may request approval for alternative design standards from the Department of Development Services.

¹ City of Galveston Dune Protection and Beach Access Plan § H(1).

- The proposed observation deck appears to be proposed at an insufficient height above the dunes to allow for the survival of dune vegetation beneath it. The observation deck should be located within a low spot within the dune system to minimize any damage to dune vegetation caused by shading. The GLO requests that the City and the applicant monitor the dune vegetation beneath the observation deck and that any dune vegetation damaged by the observation deck be compensated for on-site.
- Based on the photographs with flags showing the location of the seaward terminus of the proposed dune walkover, the walkover appears to end seaward of the vegetation line. The dune walkover must end no more than ten feet seaward of the vegetation line.²
- The City shall require the permittee relocate the walkover to follow any landward migration of the public beach or seaward migration of the dunes.³ After significant landward migration of the landward boundary of the public beach, the City shall require permittees to shorten any dune walkovers to the appropriate length. This requirement shall be contained as a condition in any permit and certificate issued authorizing construction of walkovers.⁴
- The use of concrete to stabilize the pilings of the dune walkover is prohibited.⁵

Mitigation and Compensation

- The applicant proposes on-site compensation for impacts to up to 375 square feet of dune vegetation from a construction corridor. The applicant should first attempt to mitigate or repair the impacted vegetation in-place before proceeding to compensate for any impacts, in accordance with the mitigation sequence.⁶
- The City must require the applicant to conduct mitigation and compensation efforts continuously until the repaired, rehabilitated, and restored dunes and dune vegetation are equal or superior to the pre-existing dune vegetation.⁷ These efforts shall include preservation and maintenance of restoration activities pending completion of mitigation and compensation.⁸
- The permittee must complete the sand placement and dune vegetation relocation or planting portions of the mitigation plan within one year of initiation of construction.⁹ The GLO requests that the City notify the GLO of the initiation of construction.

² City of Galveston Dune Protection and Beach Access Plan § H(6).

³ 31 Tex. Admin. Code § 15.7(g)(4)

⁴ 31 Tex. Admin. Code § 15.7(g)(4)(A).

⁵ 31 Tex. Admin. Code § 15.6(i)(2).

⁶ 31 Tex. Admin. Code § 15.4(f) & City of Galveston Dune Protection and Beach Access Plan § O.

⁷ 31 Tex. Admin. Code § 15.4(g)(2).

⁸ 31 Tex. Admin. Code § 15.4(g)(2).

⁹ 31 Tex. Admin. Code § 15.4(g)(5).

- The permittee shall be deemed to have failed to achieve mitigation and compensation if a 1:1 ratio has not been achieved within three years after initiation of construction, and the GLO may initiate enforcement as provided in 31 Tex. Admin. Code § 15.9.¹⁰
- The City shall determine a mitigation and compensation project is complete when the dune restoration project's position, contour, volume, elevation, and vegetative cover matches or exceeds the surrounding naturally formed dunes.¹¹ The City shall provide written notification to the GLO after determining that mitigation and compensation is complete. The GLO may conduct a field inspection to verify compliance.¹²
- Where a mitigation plan is required, the applicant must provide landowners immediately adjacent to the tract with notice of the hearing at least 10 days prior to the hearing on the application.¹³

In the event of a material change to the site conditions or the proposed construction, a new or amended beachfront construction certificate and dune protection permit is required.¹⁴ If you have any questions, please contact me at (512) 463-1278 or at michelle.leslie@glo.texas.gov.

Sincerely,



Michelle Leslie
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

¹⁰ 31 Tex. Admin. Code § 15.4(g)(5).

¹¹ 31 Tex. Admin. Code § 15.4(g)(3).

¹² 31 Tex. Admin. Code § 15.4(g)(4).

¹³ 31 Tex. Admin. Code § 15.4(b)(5).

¹⁴ 31 Tex. Admin. Code § 15.3(t)(5).



24BF-132

STAFF REPORT

ADDRESS:

11345 BEACHSIDE DR, TX 77554

LEGAL DESCRIPTION:

The property is legally described as Lot 909, Beachside Village Section 9 (2024), Beachside Village, a subdivision in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Alejandra Lorenzo

PROPERTY OWNER:

Debbie Ann Walcott

REQUEST:

Beachfront Construction Certificate/Dune Protection Permit in order to construct a large-scale single-family residence with unreinforced fibercrete paving beneath the footprint of the structure and an unreinforced fibercrete driveway

APPLICABLE LAND USE

REGULATIONS:

Chapter 29, Article 2, Beach Access Dune Protection and Beachfront Construction Regulation.

STAFF RECOMMENDATION:

Approval with Conditions

EXHIBITS:

- A – Aerial Map
- B – Topographic Survey
- C – Site Plan & Drawings
- D – Site Photos
- E – GLO Comment Letter

STAFF:

Kyle Clark
Coastal Resources Manager
KClark@GalvestonTX.gov



Note: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases. Therefore, the information presented on this map is for informational purposes only and should not be construed to be legally binding.

Executive Summary:

The City of Galveston’s Dune Protection and Beach Access Plan designates the Planning Commission as the authority to review and consider for approval applications for a Beachfront Construction Certificate/Dune Protection Permit when proposed construction activities occur in areas within or seaward of the Dune Conservation Area or up to 50 feet landward of the Dune Protection Line. The Dune Protection Line is the area within 25 feet landward of the North Toe of the Critical Dune Area or within 200 feet landward of the Line of Vegetation for those beach areas where no dunes exist west of the terminus of the Seawall.

The applicant is requesting approval to construct a large-scale single-family residence with unreinforced fibercrete paving beneath the footprint of the structure and an unreinforced fibercrete driveway. Proposed construction of the single-family dwelling is 31 feet from the North Toe of the Critical Dune Area, 103 feet from the Line of Vegetation. This is landward of the Dune Protection Line and within the Planning Commission review area. According to the application materials, the proposed construction activities appear to be landward of dunes and dune vegetation. Therefore, mitigation activities are not proposed.

Site and Surrounding Area:

The subject site is located at Beachside Village, Section 9 . A single-family dwelling currently under construction is located East of the property; a beach and dune system are located to the South of the subject property. According to the Bureau of Economic Geology, this area is eroding at a rate of eight to nine feet per year.

Analysis:

The table below summarizes the applicant survey and site plan (Attachments B and C). The attachments indicate the proposed new construction and the location of proposed construction in relation to on-site conditions:

| Proposed Structure’s Distance from: | Distance (Feet) |
|-------------------------------------|-----------------|
| ...North Toe of the Dune | 31 |
| ...the Line of Vegetation | 103 |

In accordance with Chapter 29: Planning – Beach Access Dune Protection & Beach Front Construction, before issuing a permit, the Planning Commission must find that the proposed construction conforms with the Beachfront Construction Certificate and Dune Protection Permit standards.

- The proposed activity is not a prohibited activity as defined in these standards.
- The proposed activity will not materially weaken dunes or materially damage dune vegetation seaward of the Dune Protection Line based on substantive findings as defined in "Technical Standards" of these standards.
- There are no practicable alternatives to the proposed activity that is located seaward of the Dune Protection Line and adverse effects cannot be avoided as provided in the Mitigation sequence as outlined in these Standards.
- The applicant's mitigation plan, for an activity seaward of the Dune Protection Line, which is not required, will adequately minimize, rectify, and/or compensate for any unavoidable adverse effects.
- The proposed activity complies with any applicable requirements of: Requirements for Beachfront Construction Certificate and Dune Protection Permits and Management of the Public Beach of this Section; and
- The structure is located as far landward as practicable.

Staff Recommendation:

Staff recommends approval of 24BF-132 with the following conditions:

Conditions for Case 24BF-132:

1. The applicant must adhere to all aspects of Chapter 29: Planning-Beach Access Dune Protection & Beachfront Construction of the City of Galveston Code of Ordinances.
2. The applicant must adhere to all aspects of the Texas Administrative Code Title 31. Natural Resources and Conservation, Part 1. General Land Office, Chapter §15. Coastal Area Planning, including but not limited to those outlined in the GLO Comment Letter associated with this Beachfront Construction Certificate and Dune Protection Permit.
3. The construction activities must minimize impacts on natural hydrology and must not cause erosion of adjacent properties. The applicant shall direct all stormwater inland away from the critical dune area, public beach, and adjacent properties.
4. Where applicable, the proposed construction must be consistent with FEMA minimum requirements or

with the FEMA approved local ordinance.

ERP PRACTICABLE DEFINITION

Practicable means available and capable of being done after taking into consideration existing building practices, siting alternatives, and the footprint of the structure in relation to the area of the building portion of the lot, and considering the overall development plan for the property.

TEXAS ADMINISTRATIVE CODE PRACTICABLE DEFINITION 15.2(57)

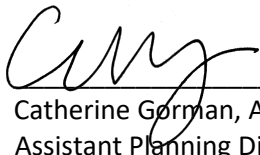
In determining what is practicable, local governments shall consider the effectiveness, scientific feasibility, and commercial availability of the technology or technique. Local governments shall also consider the cost of the technology or technique.

Respectfully Submitted,



Kyle Clark
Coastal Resources Manager

1/23/2025



Catherine Gorman, AICP
Assistant Planning Director / HPO

01/28/2025
Date

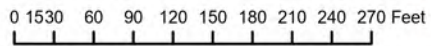
A – Aerial Map

**11345 Beachside Drive
Case #24BF-132**

**BEG and FIRM Coastal Map
Legend**

**BEG Shoreline Change Rates
1950s-2019 - End Point Rate (ft/yr)**

- ▲ Eroding (-1ft or more)
- ◆ Stable (-1ft to 1 ft)
- ▼ Accreting (+1ft or more)
- FIRM Panels
- 0.2% Annual Chance
- Zone A
- Zone AE, Zone AO
- Zone VE
- Zone X
- Open Water
- Subdivisions
- 1000ft from MHT
- Lot Lines
- Parcels



1:1,742

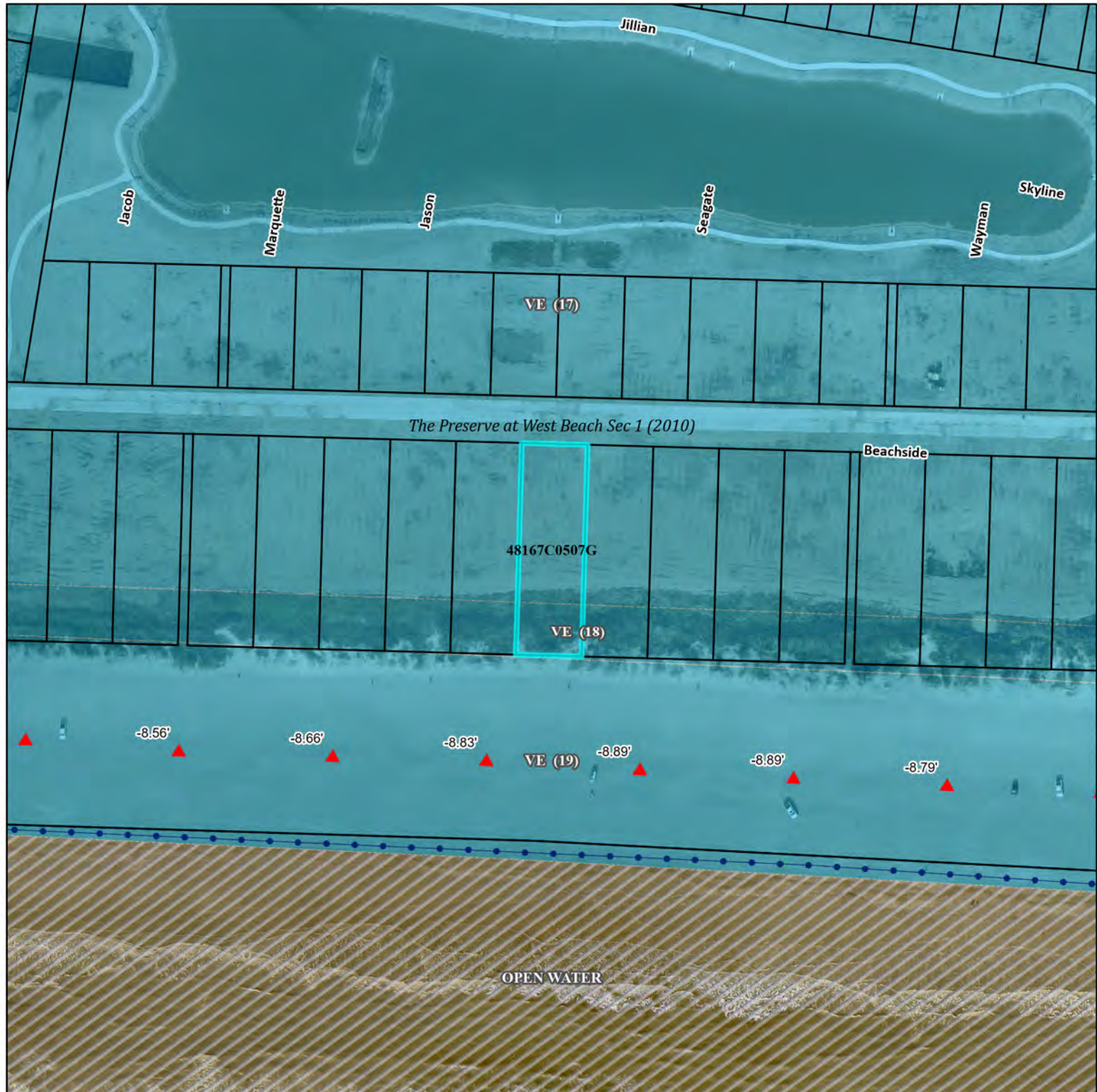
Data Sources:

Aerial Imagery and Parcel Data from Galveston CAD,
Shoreline Change Data from U.T. Bureau of Economic
Geology, Flood Insurance Rate Map from FEMA.

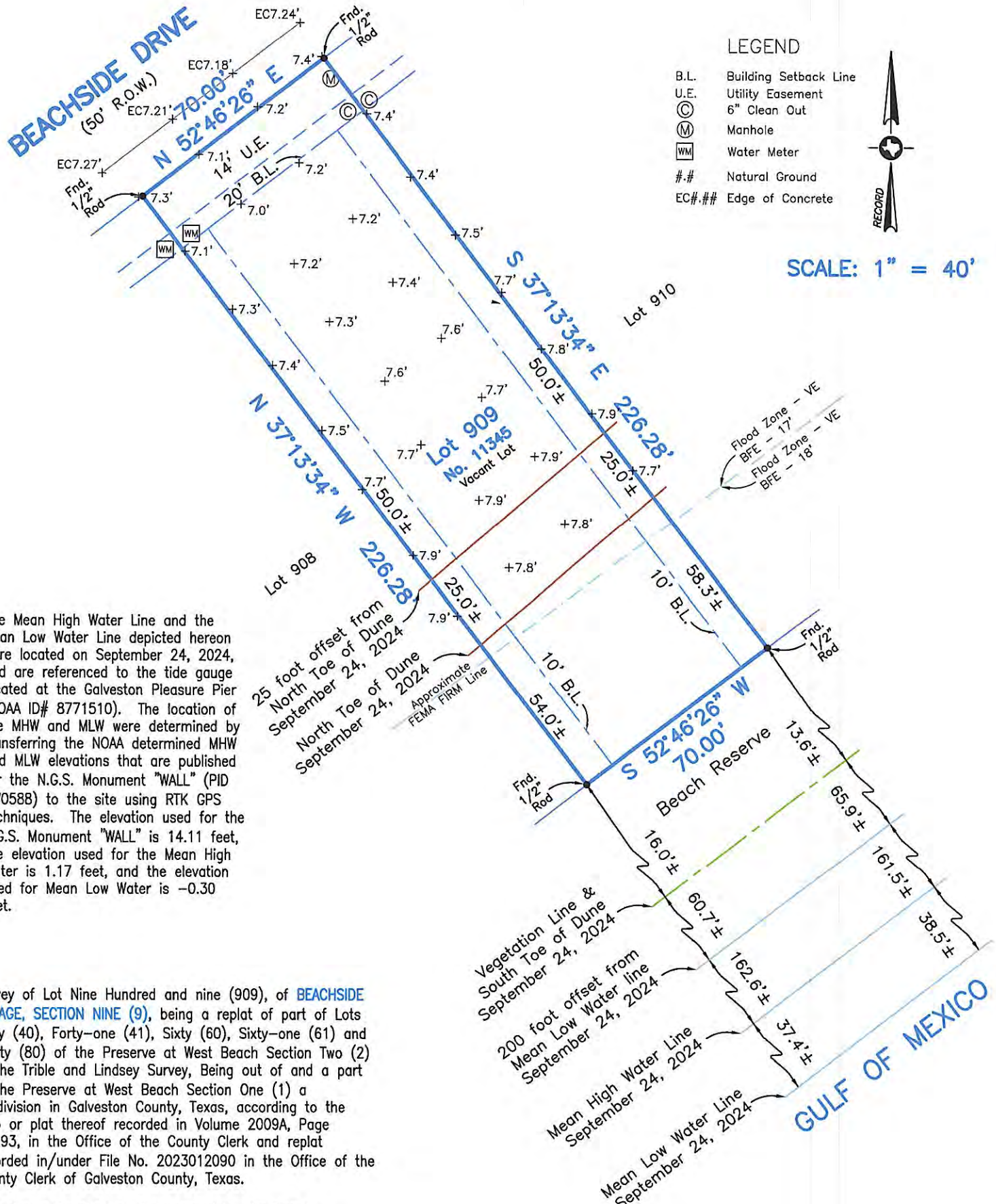
**Map prepared by the City of Galveston Development
Services Department, Coastal Resources Division
(HCummings) - 12/9/2024**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

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B – Topographic Surveys



LEGEND
 B.L. Building Setback Line
 U.E. Utility Easement
 (C) 6" Clean Out
 (M) Manhole
 (WM) Water Meter
 ## Natural Ground
 EC#.# Edge of Concrete



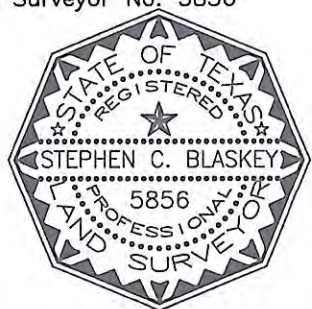
SCALE: 1" = 40'

The Mean High Water Line and the Mean Low Water Line depicted hereon were located on September 24, 2024, and are referenced to the tide gauge located at the Galveston Pleasure Pier (NOAA ID# 8771510). The location of the MHW and MLW were determined by transferring the NOAA determined MHW and MLW elevations that are published for the N.G.S. Monument "WALL" (PID AW0588) to the site using RTK GPS techniques. The elevation used for the N.G.S. Monument "WALL" is 14.11 feet, the elevation used for the Mean High Water is 1.17 feet, and the elevation used for Mean Low Water is -0.30 feet.

Survey of Lot Nine Hundred and nine (909), of **BEACHSIDE VILLAGE, SECTION NINE (9)**, being a replat of part of Lots Forty (40), Forty-one (41), Sixty (60), Sixty-one (61) and Eighty (80) of the Preserve at West Beach Section Two (2) of the Tribble and Lindsey Survey, Being out of and a part of the Preserve at West Beach Section One (1) a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 2009A, Page 92-93, in the Office of the County Clerk and replat recorded in/under File No. 2023012090 in the Office of the County Clerk of Galveston County, Texas.

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.

Stephen C. Blaskey
 Stephen C. Blaskey
 Registered Professional
 Land Surveyor No. 5856



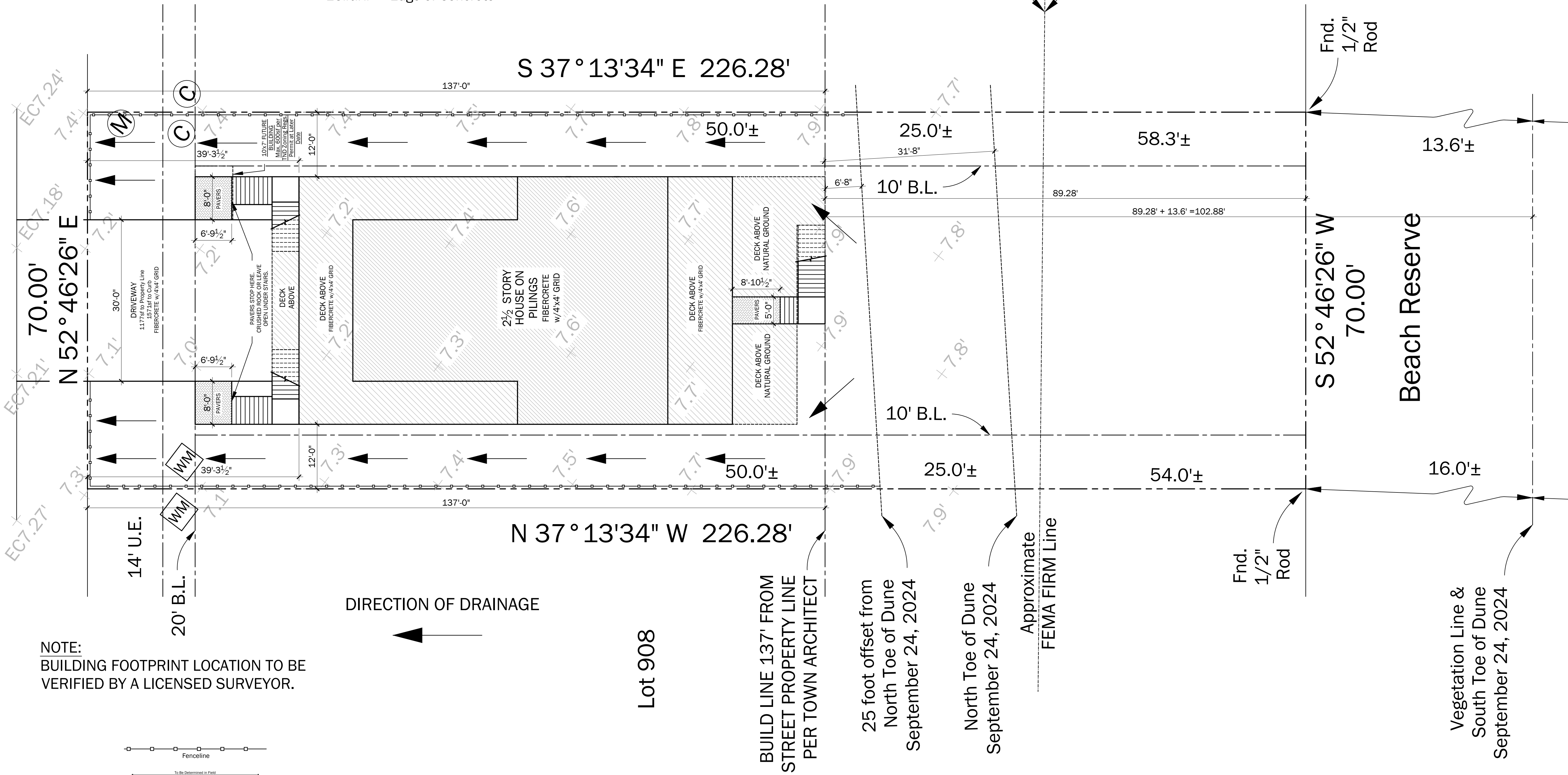
| | |
|--------------|--------------------|
| SURVEY DATE: | SEPTEMBER 24, 2024 |
| FILE No.: | 1641-9000-0909-000 |
| DRAFTING: | AM |
| JOB No.: | 24-0437 |

GALVESTON OFFICE
 Registration Number: 10193855
 (409) 740-1517 www.hightidelandsurveying.com
 8017 HARBORSIDE DRIVE | GALVESTON, TX 77554
 Mailing | P.O. BOX 16142 | GALVESTON, TX 77552

- NOTES:**
- 1) This property does lie within the 100 Year Flood Plain as established by the Federal Emergency Management Agency.
 - 2) This property is subject to any restrictions of record as established by the City, Plat, or Subdivision Covenants and Restrictions; may also be subject to easements and setbacks for utility services and power lines as individually recorded or established by OSHA (call your power company).
 - 3) Bearings based on recorded plat.
 - 4) Deed references shown hereon are not a statement of ownership.
 - 5) Elevations are shown in feet above Mean Sea Level NAVD '88 Datum as tied to NGS Monument HGCSO 62.
 - 6) Surveyed without benefit of a Title Report.

C – Site Plans and Drawings

BEACHSIDE DRIVE
LOT 909 No. 11345



LEGEND

- B.L. Building Setback Line
- U.E. Utility Easement
- (C) 6" Clean Out
- (M) Manhole
- (WM) Water Meter
- ## Natural Ground
- EC### Edge of Concrete

Note:
No fill shall be brought to site, no changes shall be made to existing grading or drainage plan (as-built), and there shall be no drainage impact to neighborhood properties.

Contractor/builder shall be 100% liable for deviation from these requirements based on City Inspection.

| TITLE FINAL SET E - 11/14/24 | | |
|--|------------------------|-------|
| FILE NAME 11345 Beachside Dr - 11-14-24 - Final | | |
| NO. | REVISION/ISSUE | DATE |
| 1 | COASTAL INFO | 08/20 |
| 2 | COASTAL INFO | 11/13 |
| 3 | SQUARE FOOTAGE UPDATED | 11/14 |
| 4 | | |
| 5 | | |
| 6 | | |

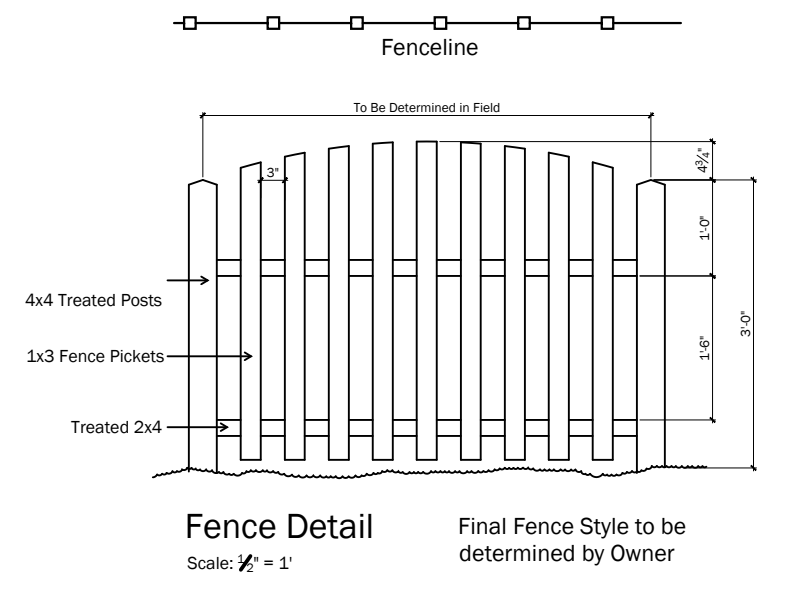
Culwell Designs
Galveston, TX - 713-213-9804
e-mail: culwelldesigns@att.net

| Square Footage | |
|-------------------------|-------------|
| 1st Floor: | 2180 |
| 2nd Floor & 3rd Stairs: | 2086 |
| 3rd Floor: | 190 |
| Total Living SF: | 4456 |
| Grnd Floor Enclosed: | 289 |
| Decks Incl A/C Decks: | 3322 |
| Slab: | 3703 |

PROJECT NAME AND ADDRESS
Proposed Beach House for
Azilla Builders, LLC.
Lot 909 - 11345 Beachside Dr.
Beachside Village
Galveston, TX 77554

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To the best of our knowledge, these plans, drawings and specifications are designed to comply with the owner's wishes and criteria. Any changes made to these drawings after final prints are made, will be at the sole expense of the owner/contractor.
The owner/contractor will be responsible for verification of all dimensions, details and specifications.
Culwell Designs, their employees, or subcontract labor personnel will not be liable for any human error after construction has been started.
No warranties are given or implied as to the completeness or accuracy of these plans. All structural and foundation design is to be checked, verified and stamped by a licensed engineer. Windstorm Certified if applicable.
These plans are the sole property of Culwell Designs and are for the sole use on a specific project and may not be used on any other project without written permission from Culwell Designs.

NOTE:
BUILDING FOOTPRINT LOCATION TO BE VERIFIED BY A LICENSED SURVEYOR.



Lot 910

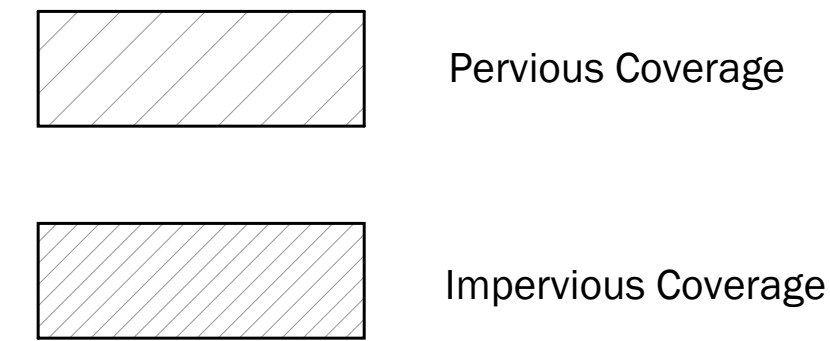
Lot 908

BUILD LINE 137' FROM STREET PROPERTY LINE PER TOWN ARCHITECT
25 foot offset from North Toe of Dune September 24, 2024
North Toe of Dune September 24, 2024
Approximate FEMA FIRM Line

Vegetation Line & South Toe of Dune September 24, 2024

| | |
|------------------------|-----------|
| DRAWN BY S. CULWELL | SHEET |
| DATE 11/14/24 | A2 |
| SCALE SHOWN | of 20 |

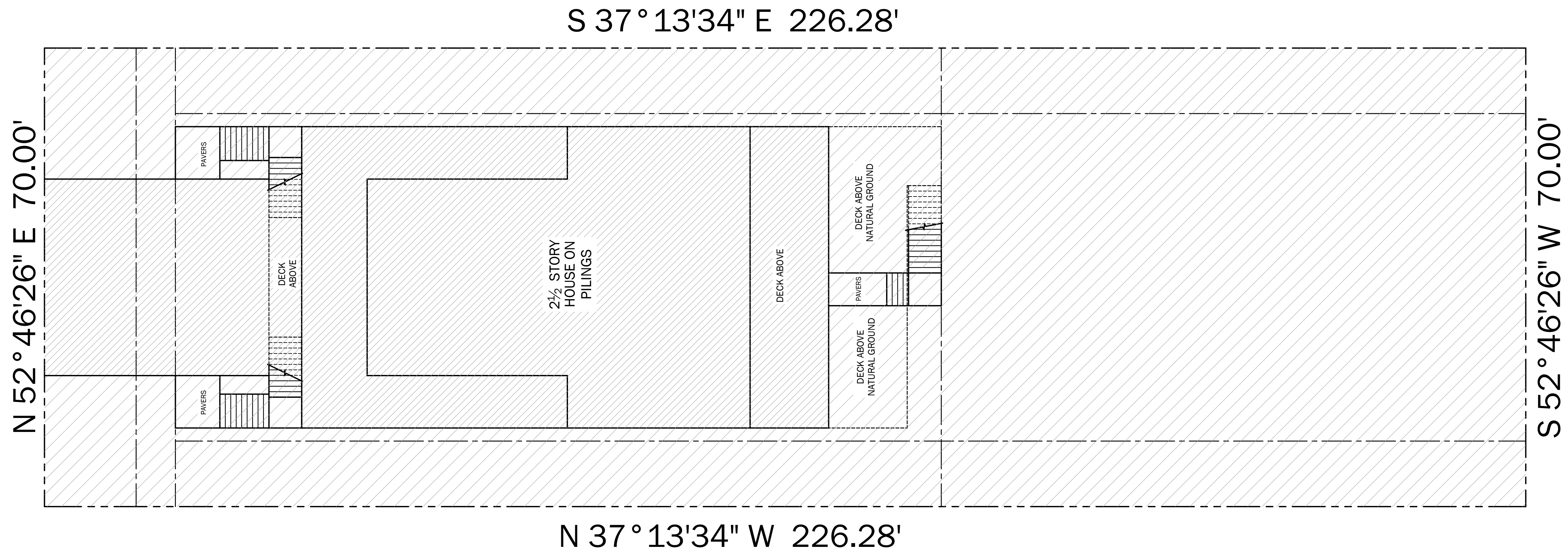
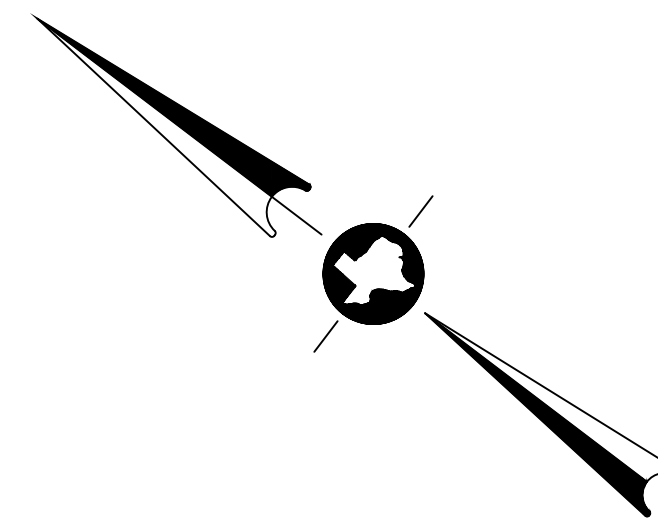
BEACHSIDE DRIVE
LOT 909 No. 11345



Lot Size ft² = 15,839.94 ft²

Impervious Coverage ft² = 4881.75 ft²
Includes Slab and Driveway

$4881.75 / 15,839.94 = .3082 \times 100 = 30.82\%$



Beach Reserve

| TITLE FINAL SET E - 11/14/24 | | |
|--|------------------------|-------|
| FILE NAME 11345 Beachside Dr - 11-14-24 - Final | | |
| NO. | REVISION/ISSUE | DATE |
| 1 | COASTAL INFO | 08/20 |
| 2 | COASTAL INFO | 11/13 |
| 3 | SQUARE FOOTAGE UPDATED | 11/14 |
| 4 | | |
| 5 | | |
| 6 | | |

Culwell Designs

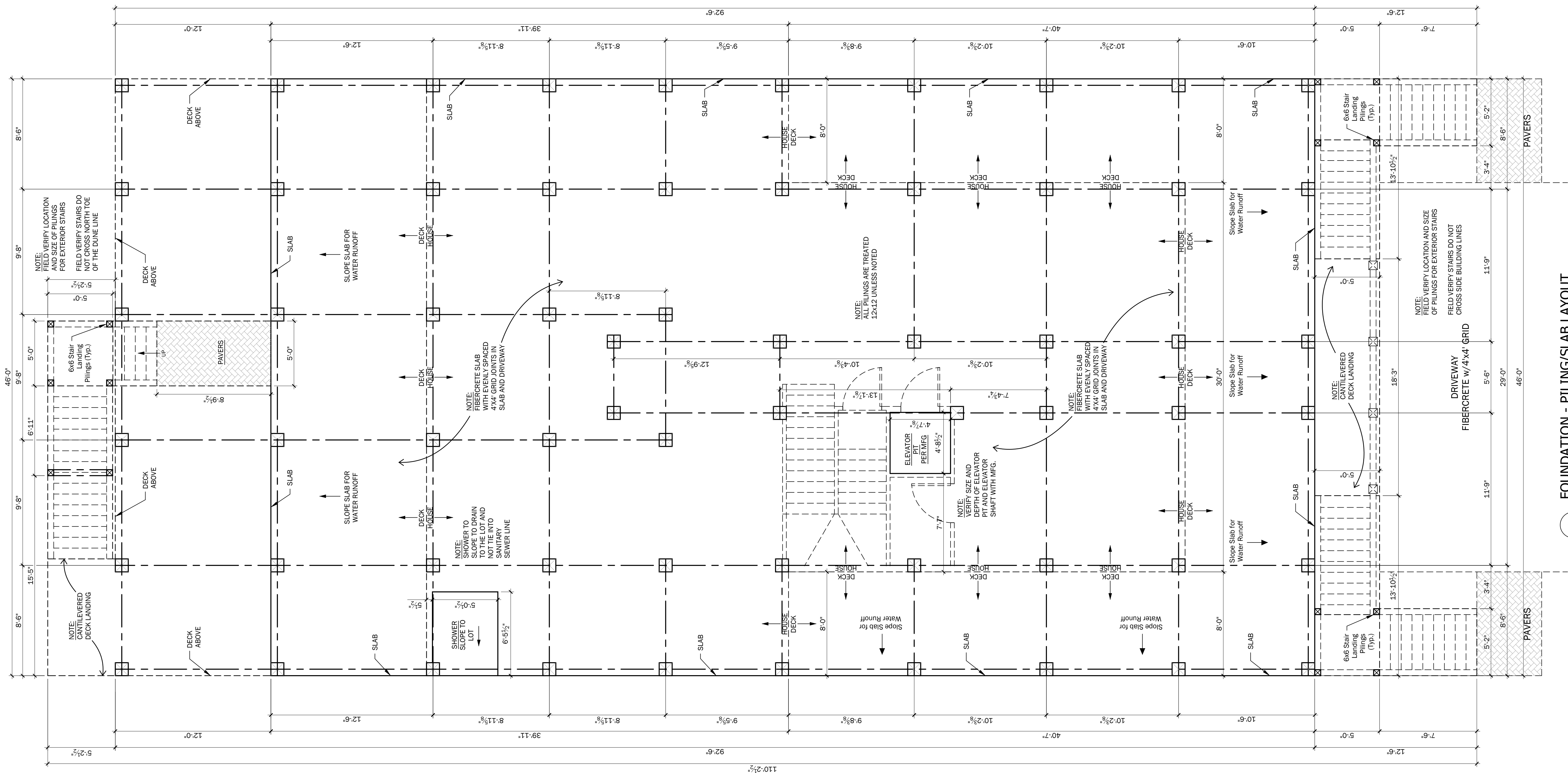
Galveston, TX - 713-213-9804
e-mail: culwelldesigns@att.net

| Square Footage | |
|-------------------------|------|
| 1st Floor: | 2180 |
| 2nd Floor & 3rd Stairs: | 2086 |
| 3rd Floor: | 190 |
| Total Living SF: | 4456 |
| Grnd Floor Enclosed: | 289 |
| Decks Incl A/C Decks: | 3322 |
| Slab: | 3703 |

PROJECT NAME AND ADDRESS
Proposed Beach House for
Azilla Builders, LLC.
Lot 909 - 11345 Beachside Dr.
Beachside Village
Galveston, TX 77554

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The owner/contractor will be responsible for verification of all dimensions, details and specifications.
Culwell Designs, their employees, or subcontract labor personnel will not be liable for any human error after construction has been started.
No warranties are given or implied as to the completeness or accuracy of these plans. All structural and foundation design is to be checked, verified and stamped by a licensed engineer. Windstorm Certified if applicable.
These plans are the sole property of Culwell Designs and are for the sole use on a specific project and may not be used on any other project without written permission from Culwell Designs.

| | |
|------------------------|-------|
| DRAWN BY S. CULWELL | SHEET |
| DATE 11/14/24 | A20 |
| SCALE SHOWN | of 20 |



1 FOUNDATION - PILING/SLAB LAYOUT Scale: 1/4" = 1'-0"

| | | |
|---------------------------------------|------------------------|-------|
| TITLE | | |
| FINAL SET E - 11/14/24 | | |
| FILE NAME | | |
| 11345 Beachside Dr - 11-14-24 - Final | | |
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PROJECT NAME AND ADDRESS

Proposed Beach House for
Azilla Builders, LLC.

Lot 909 - 11345 Beachside Dr.
 Beachside Village
 Galveston, TX 77554

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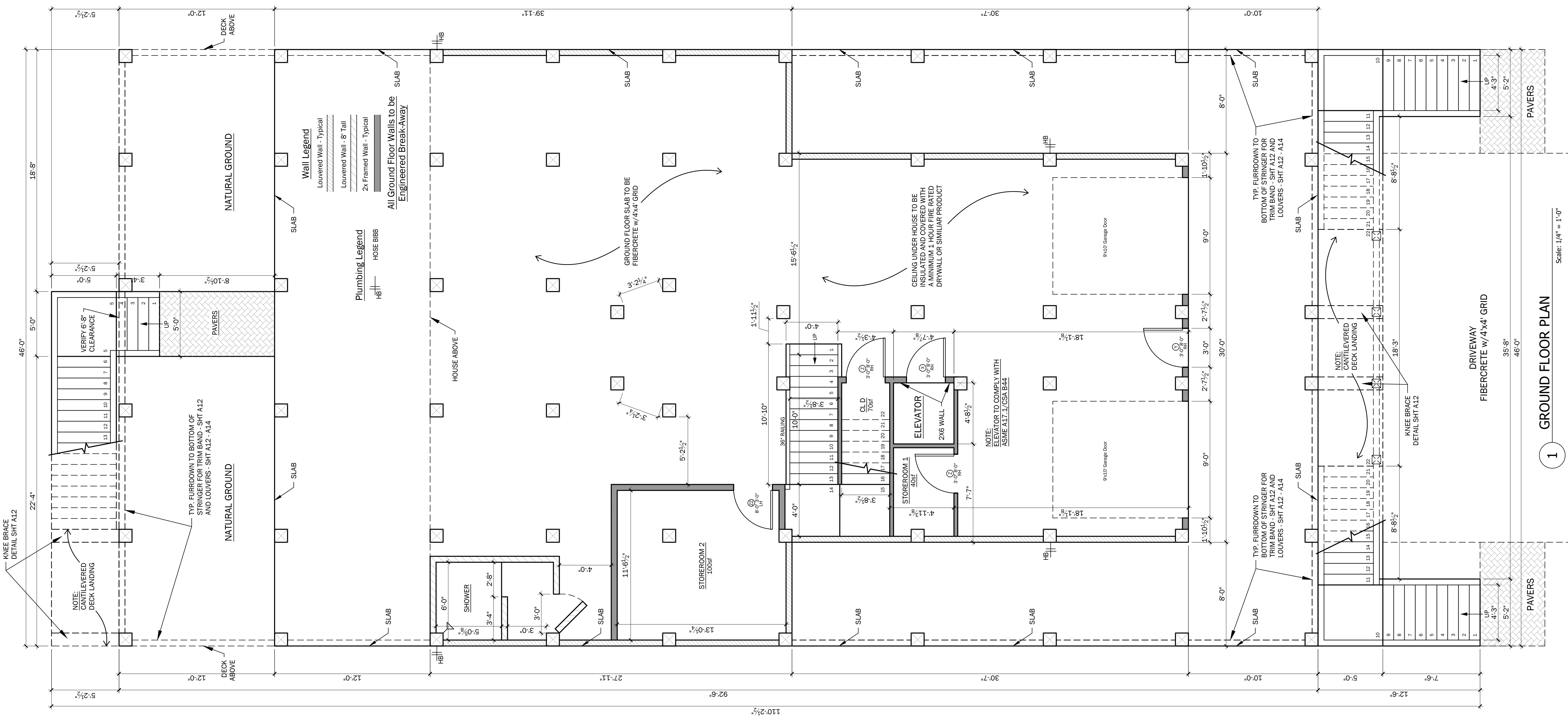
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| | | |
|----------|------------|-------|
| DRAWN BY | S. CULWELL | SHEET |
| DATE | 11/14/24 | A3 |
| SCALE | SHOWN | |
| | | of 20 |



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

| | | |
|---------------------------------------|------------------------|-------|
| TITLE | | |
| FINAL SET E - 11/14/24 | | |
| FILE NAME | | |
| 11345 Beachside Dr - 11-14-24 - Final | | |
| NO. | REVISION/ISSUE | DATE |
| 1 | COASTAL INFO | 08/20 |
| 2 | COASTAL INFO | 11/13 |
| 3 | SQUARE FOOTAGE UPDATED | 11/14 |
| 4 | | |
| 5 | | |
| 6 | | |

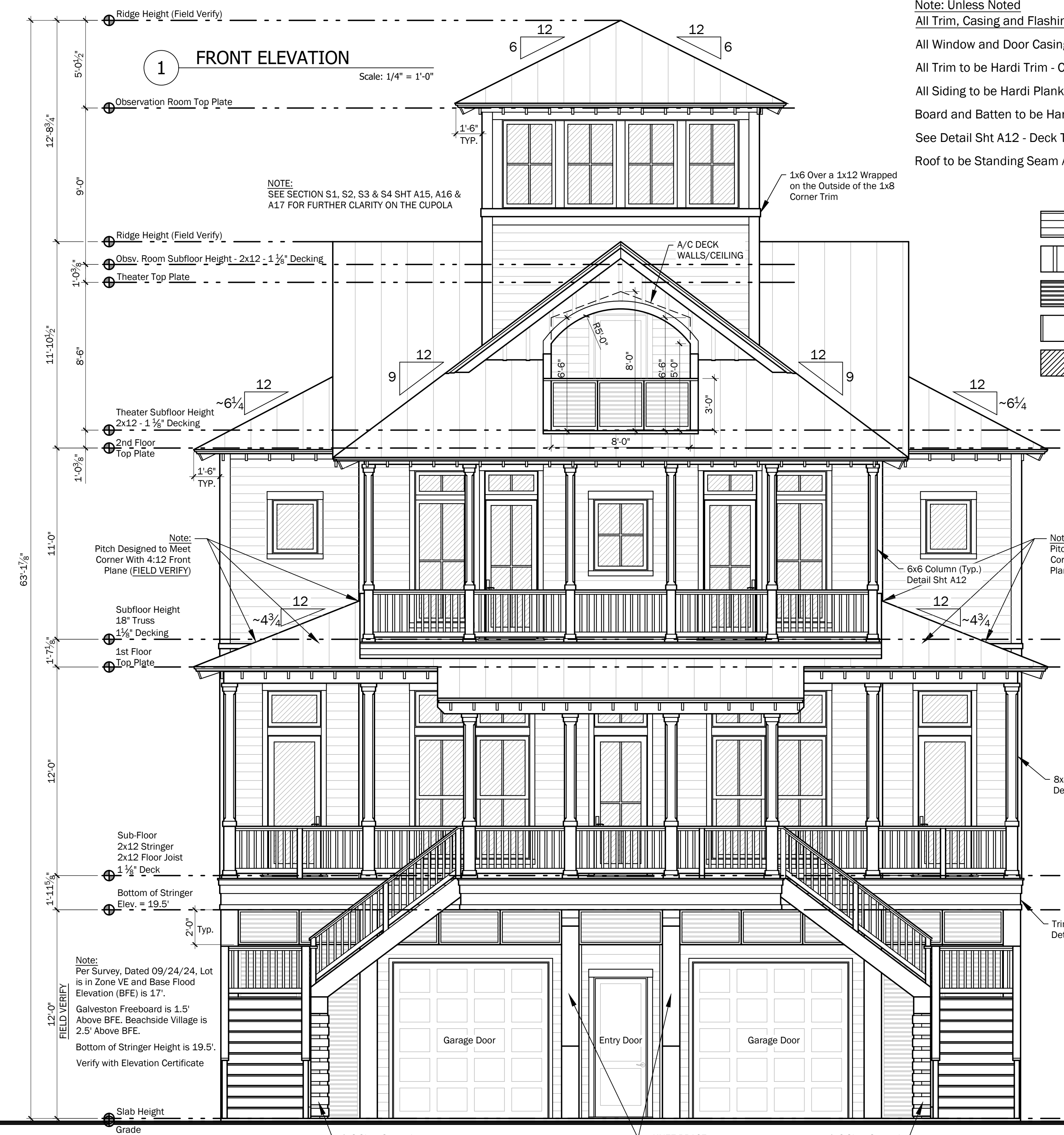
Culwell Designs
Galveston, TX - 713-213-9804
e-mail: culwelldesigns@att.net

| | |
|-------------------------|-------------|
| Square Footage | |
| 1st Floor: | 2180 |
| 2nd Floor & 3rd Stairs: | 2086 |
| 3rd Floor: | 190 |
| Total Living SF: | 4456 |
| Grnd Floor Enclosed: | 289 |
| Decks Incl A/C Decks: | 3322 |
| Slab: | 3703 |

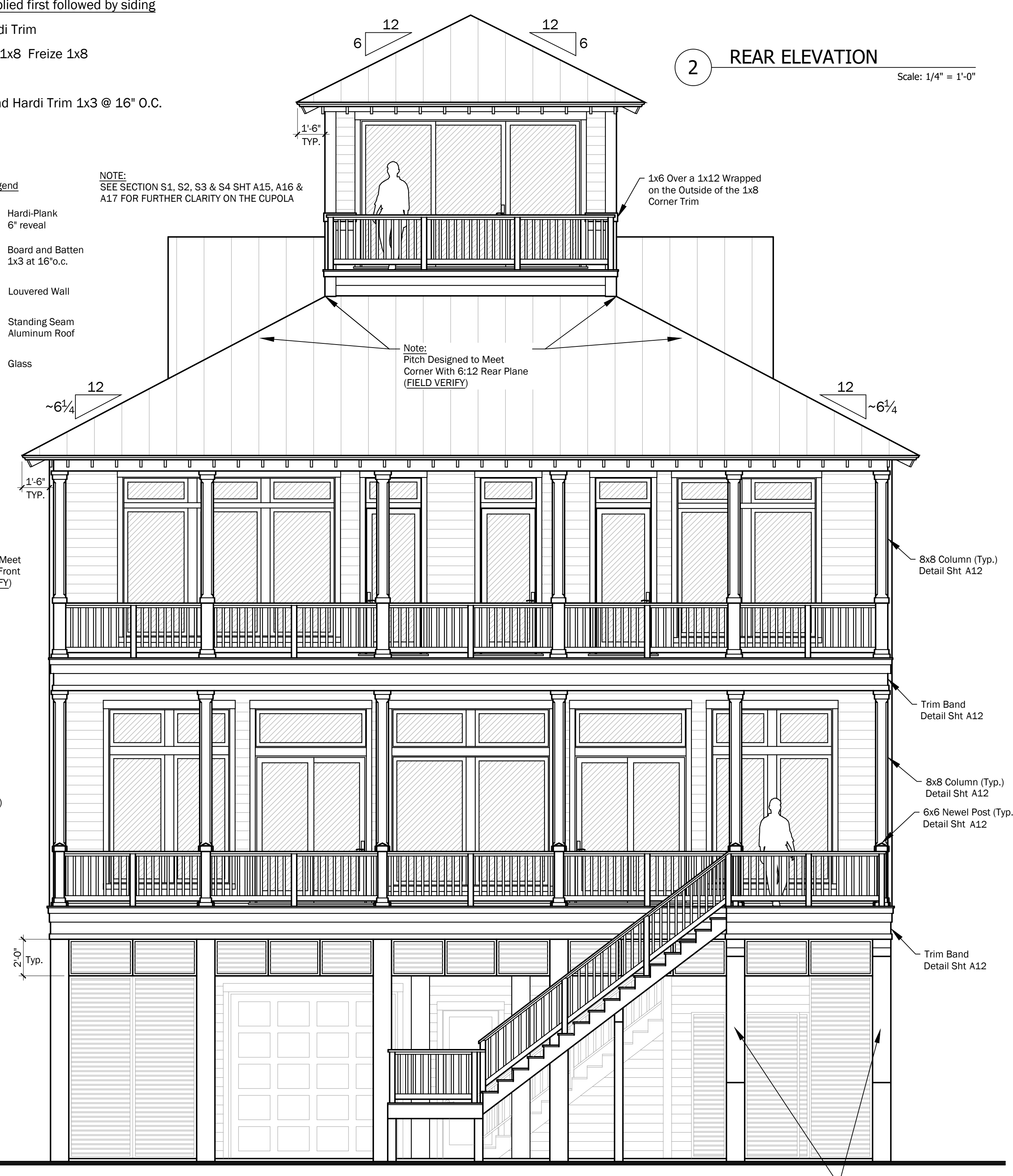
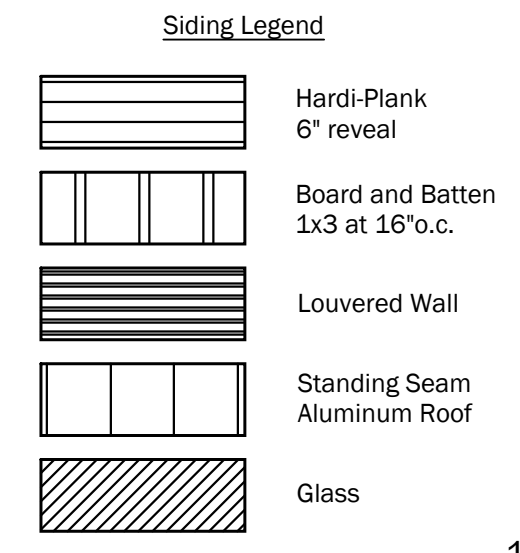
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Azilla Builders, LLC.
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Beachside Village
Galveston, TX 77554

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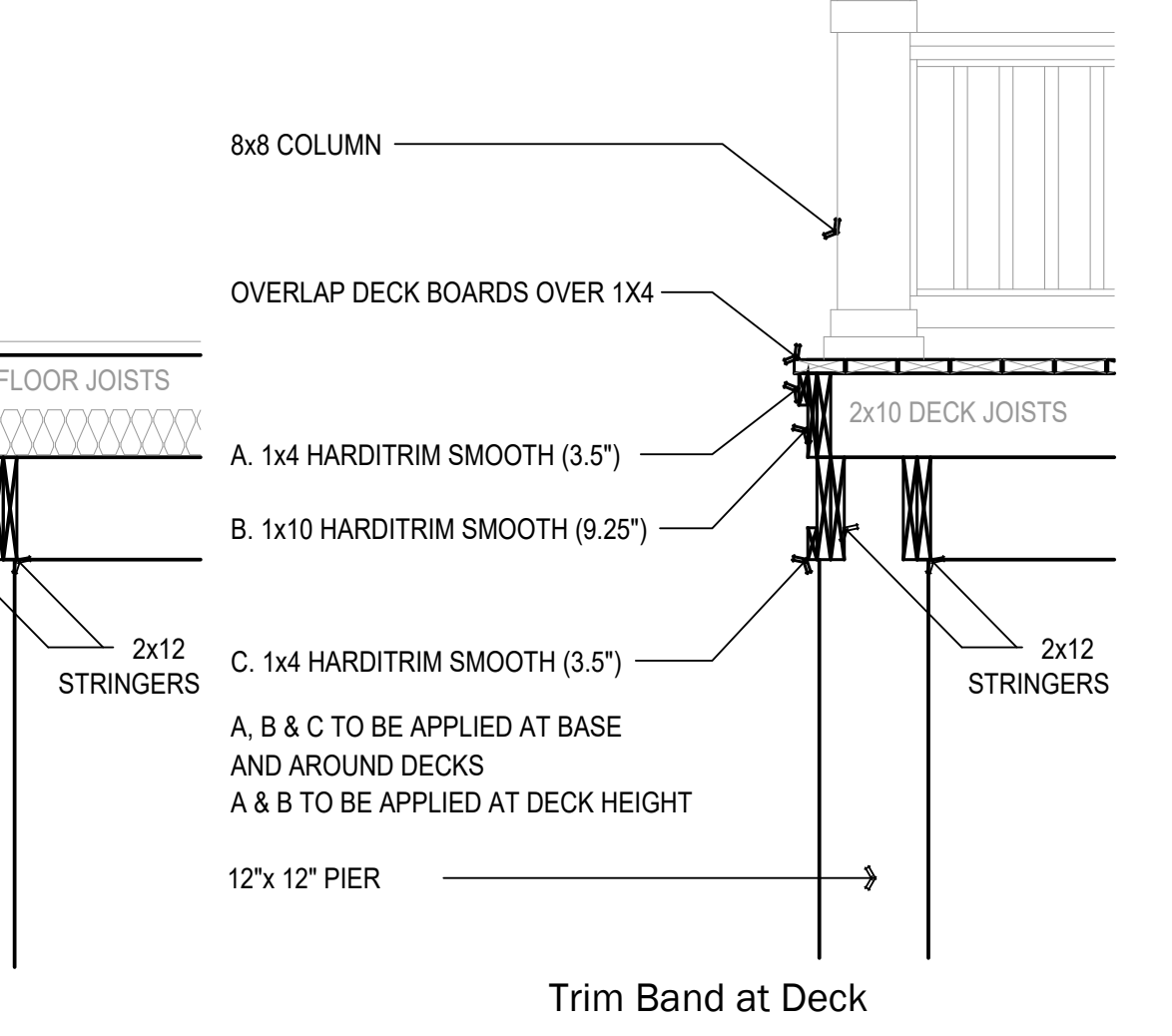
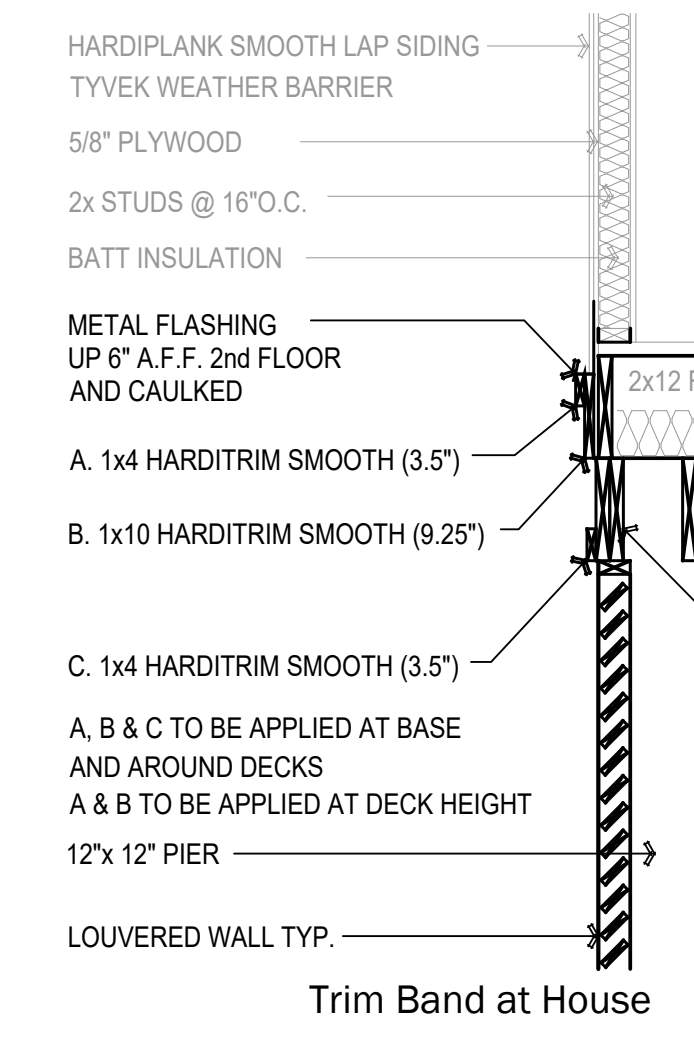
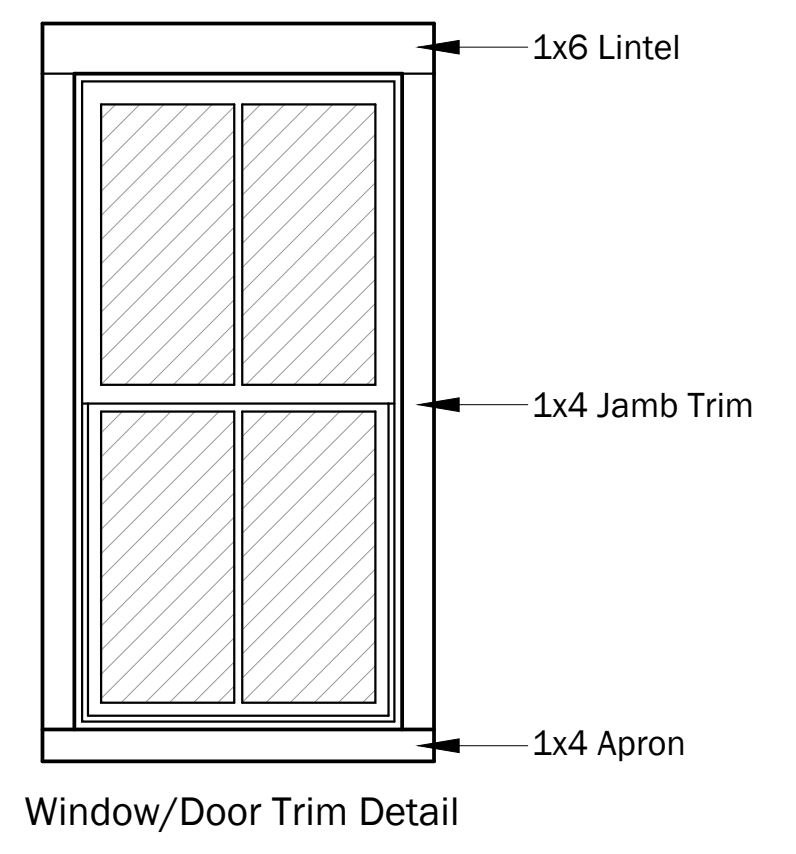
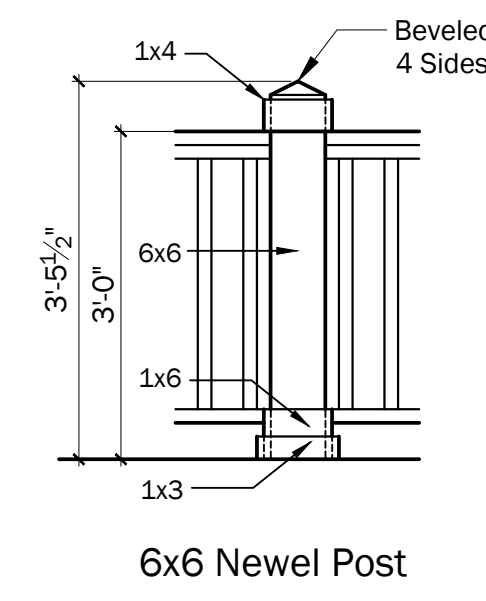
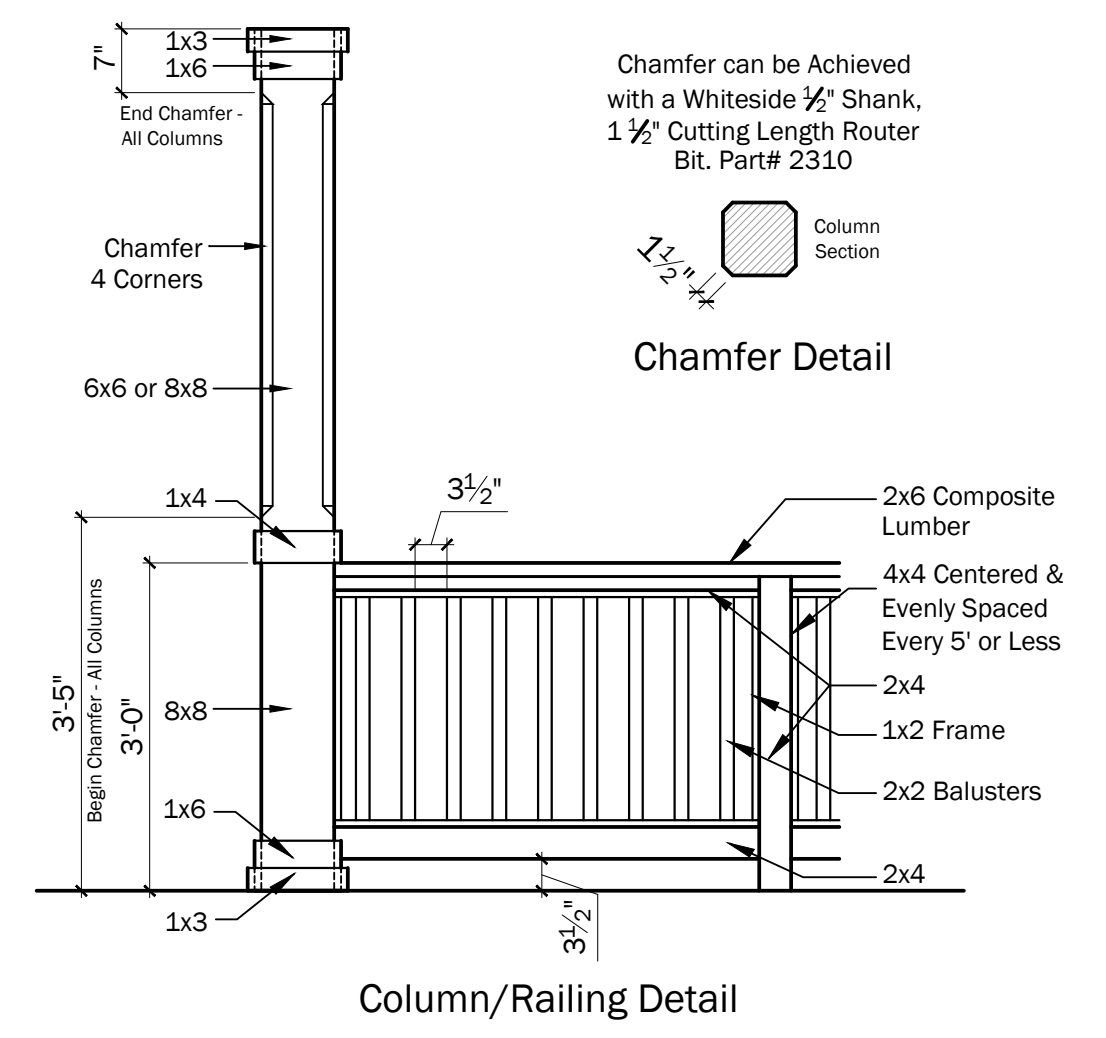
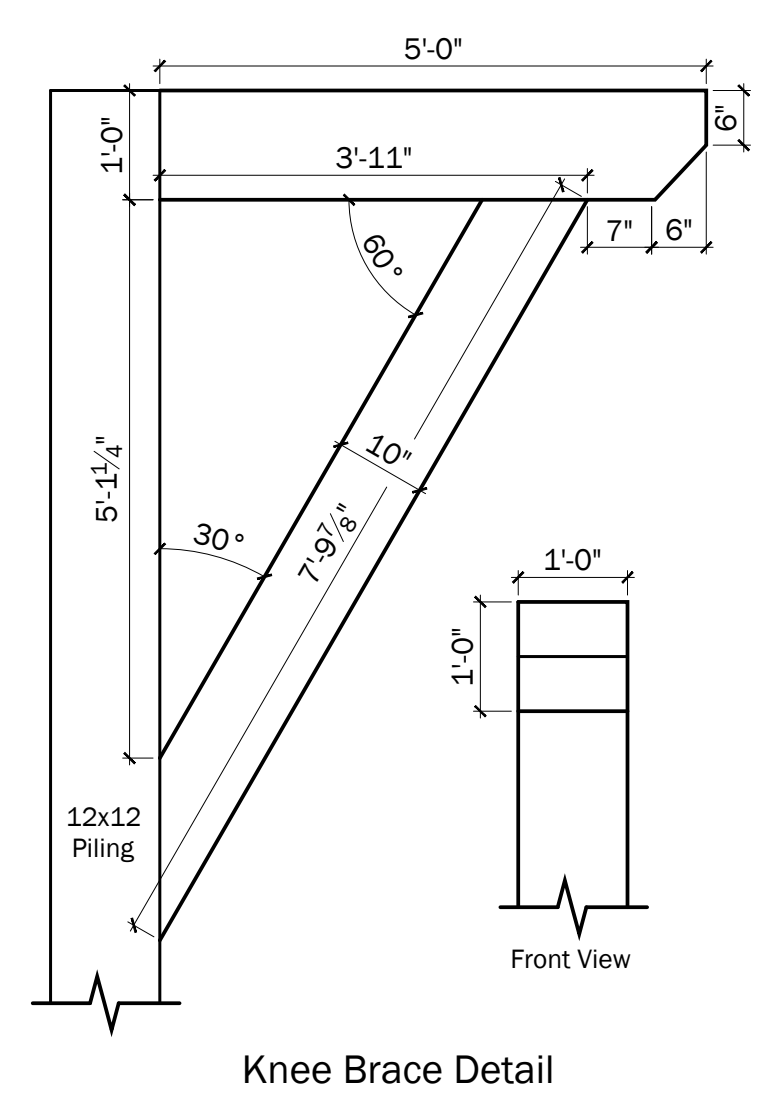
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| DRAWN BY | SHEET |
| S. CULWELL | A5 |
| DATE | 11/14/24 |
| SCALE | SHOWN of 20 |



Note: Unless Noted
 All Trim, Casing and Flashing to be applied first followed by siding
 All Window and Door Casing to be Hardi Trim
 All Trim to be Hardi Trim - Corner Trim 1x8 Freize 1x8
 All Siding to be Hardi Plank 6" Reveal
 Board and Batten to be Hardi Panel and Hardi Trim 1x3 @ 16" O.C.
 See Detail Sht A12 - Deck Trim
 Roof to be Standing Seam Aluminum



3 EXTERIOR DETAILS
No Scale



| TITLE | | |
|---------------------------------------|------------------------|-------|
| FINAL SET E - 11/14/24 | | |
| FILE NAME | | |
| 11345 Beachside Dr - 11-14-24 - Final | | |
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| 4 | | |
| 5 | | |
| 6 | | |

Culwell Designs
 Galveston, TX - 713-213-9804
 e-mail: culwelldesigns@att.net

| Square Footage | |
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| | | | |
|----------|------------|-------|-----|
| DRAWN BY | S. CULWELL | SHEET | A12 |
| DATE | 11/14/24 | | |
| SCALE | SHOWN | of 20 | |

| | | |
|--|------------------------|-------|
| TITLE FINAL SET E - 11/14/24 | | |
| FILE NAME 11345 Beachside Dr - 11-14-24 - Final | | |
| NO. | REVISION/ISSUE | DATE |
| 1 | COASTAL INFO | 08/20 |
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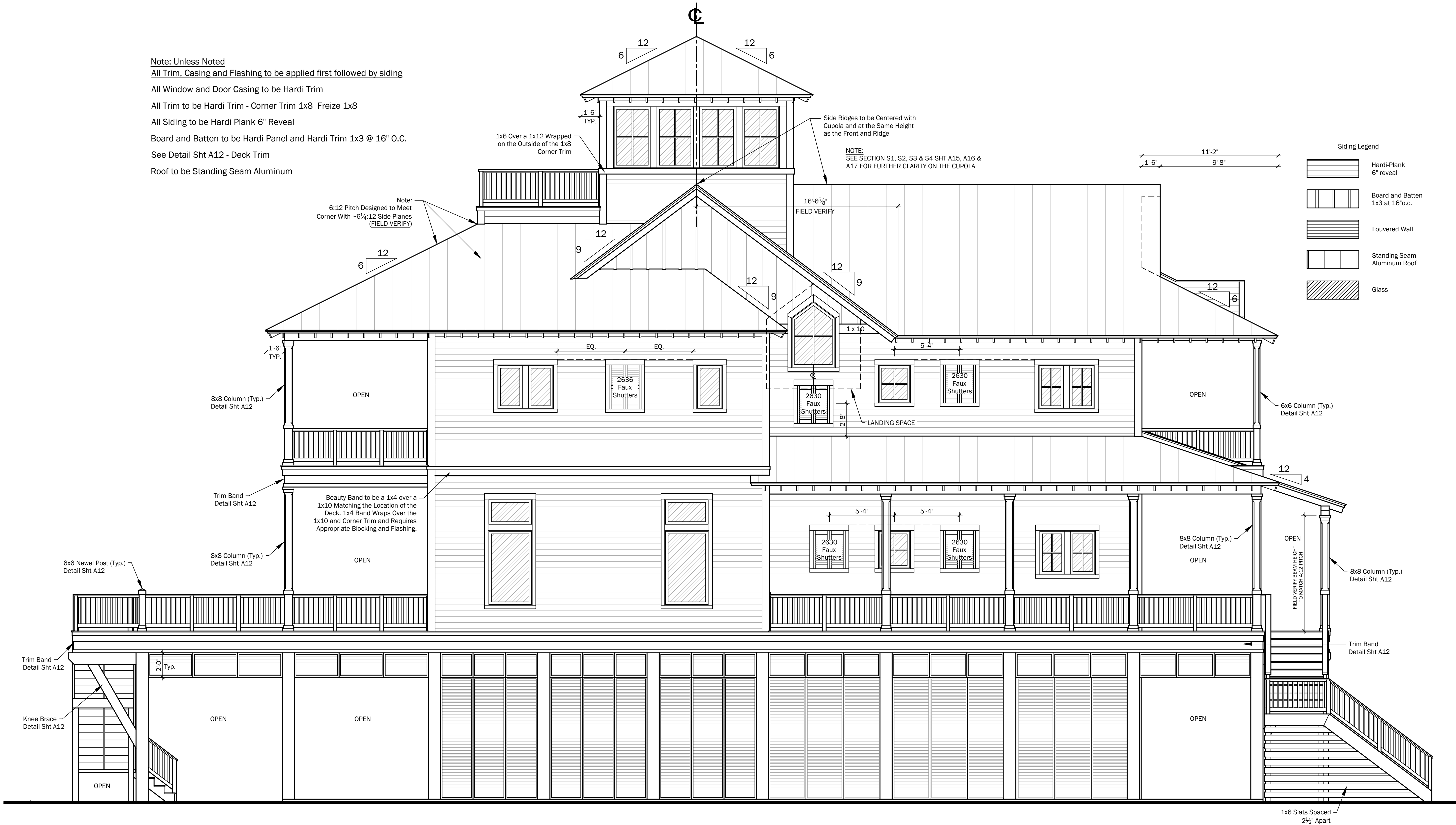
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|------------------------|------------|
| DRAWN BY S. CULWELL | SHEET |
| DATE 11/14/24 | A13 |
| SCALE SHOWN | of 20 |

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All Siding to be Hardi Plank 6" Reveal
Board and Batten to be Hardi Panel and Hardi Trim 1x3 @ 16" O.C.
See Detail Sht A12 - Deck Trim
Roof to be Standing Seam Aluminum



1 LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"

D – Site Photos

North



East



South



West



Line of Vegetation



E – GLO Comment Letter



TEXAS GENERAL LAND OFFICE
COMMISSIONER DAWN BUCKINGHAM, M.D.

December 17, 2024

Via Electronic Mail

Hunter Cummings
Deputy Coastal Resources Manager
Development Services Department
City of Galveston
3015 Market St.
Galveston, Texas 77550

Beachfront Construction Certificate and Dune Protection Permit in the City of Galveston

Site Address: 11345 Beachside Drive, Galveston
Legal Description: Lot 909 Beachside Village Sec 9 (2024)
Lot Applicant: Alejandra Lorenzo c/o Debbie-Ann Walcott
Case Number: 24P-132
GLO ID No.: BDCOG-24-0229

Dear Mr. Cummings:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes a large-scale single-family residence with unreinforced fibercrete paving beneath the habitable structure and a fibercrete driveway. The proposed construction is located within 200 feet landward of the line of vegetation, within the Enhanced Construction Zone, and directly adjacent to the Dune Conservation Area. According to the Bureau of Economic Geology, the area is eroding at a rate of eight to nine feet per year.

Based on the information provided to our office for review, we have no comments.

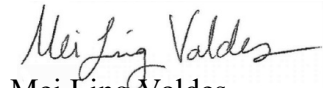
Please be advised structures may not encroach on the public beach. If the structure becomes located seaward of the line of vegetation because of loss of elevation, the structure may be allowed to remain in place if it does not significantly interfere with public access to the beach or present a public health and safety risk. Structures located seaward of the line of vegetation and landward of the line of mean high tide may be allowed to make certain repairs under the Beach/Dune rules and local government plans.

If any part of a structure comes to be located seaward of the line of mean high tide, it becomes an unauthorized structure on state-owned land. Repairs are prohibited and the state may take action to remove the structure.

Mr. Cummings
December 17, 2024
Page 2 of 2

In the event of a material change to the site conditions or the proposed construction, a new or amended beachfront construction certificate and dune protection permit is required.¹ If you have any questions, please contact me at (512) 463-5720 or at meiling.valdes@glo.texas.gov.

Sincerely,



Mei Ling Valdes
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

¹ 31 Tex. Admin. Code § 15.3(t)(5).



25P-004

STAFF REPORT

ADDRESSES:

2712-2928 11 Mile Road

LEGAL DESCRIPTION:

Abstract 121 Page 48 Lots 1 through 11 Sea Breeze and Abstract 121 Page 48 North 75 Feet of Lot 12 (12-1) Sea Breeze, in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Development Services Department

PROPERTY OWNER:

Various

ZONING DISTRICT:

Residential, Single-Family (R-1)

REQUEST:

Request for a Change of Zoning in order to designate the area as a Restricted Residential, Single-Family (R-0) zoning district.

STAFF RECOMMENDATION:

Approval

EXHIBITS:

- A – Zoning/Boundary Map
- B – Land Use Comparison

STAFF:

Pete Milburn, Sr. Project Manager
 409-797-3672
 Pmilburn@galvestontx.gov

Public Notice and Comment:

| Sent | Returned | In Favor | Opposed | No Comment |
|------|----------|----------|---------|------------|
| 19 | | | | |

Per Section 13.808 of the Land Development Regulations and state law, written public notice of this request is required. Public notices are sent to all property owners within 200 feet of the subject site and are sent to the address on file with the Galveston Central Appraisal District.

City Department Notification Responses:

- Airport: No Objection
- Building Division: No Objection
- Coastal Resources: No Objection
- Fire Marshal: No Objection
- Fire Chief: No Objection
- Police Chief: No Objection
- Public Works: No Objection

Private Utilities Notification Responses:

- AT&T: No Objection
- Comcast: No Objection
- CenterPoint Energy: No Objection
- Texas Gas Service: No Objection



Executive Summary

The request is to designate the properties shown on the above map as a Restricted Residential, Single-Family (R-0) zoning district. The area is currently zoned Residential,

Single-Family (R-1). The primary distinction between the R-0 and R-1 zoning districts is the ability of property owners to legally use their homes as a short term rental dwelling. Short term rentals are not allowed in the R-0 zoning district.

Interpretation of Use Classification

As changes of zoning are of a permanent nature, regardless of the present proposed land use for the properties, which will remain single-family residential, the Planning Commission and City Council must consider all potential future land uses that will become permitted uses should the request for a change of zoning be approved. Please see Exhibit 'B' for a comparison list of the permitted uses in the Residential, Single Family (R-1) and Restricted Residential, Single-Family (R-0) zoning districts.

Compatibility with Surrounding Land Use and Zoning

No proposed change to present land use, the neighborhood will remain single-family in character. Therefore, this request does not affect compatibility with surrounding uses and zoning.

Zoning and Land Use

| Location | Zoning | Land Use |
|-----------------|----------------------------------|-----------------|
| Subject Site | Residential, Single-Family (R-1) | Residential |
| North | Residential, Single-Family (R-1) | Residential |
| South | Residential, Single-Family (R-1) | Water |
| East | Residential, Single-Family (R-1) | Wetlands |
| West | Water (R-1) | Water |

Criteria to Establish R-0 Zoning District

Per the City of Galveston’s Land Development Regulations, the following criteria must be met to establish a Restricted Residential, Single-Family (R-0) zoning district:

| Criteria | Proposed District |
|--|--|
| 75 percent of the dwellings in the proposed zoning area must be single-family owner occupied structures. | Per available records, at least 75 percent of the dwellings are owner occupied. |
| 75 percent of the property owners shall initiate a petition to rezone to R-0. | Petition initiated by 83 percent of property owners. |
| Commercial uses and short term rentals prohibited. | No commercial uses currently in operation. Existing short term rental uses will not be affected by this request. |
| The petition shall identify the streets, street blocks, and boundary subject to the rezoning. | The petition enumerates all addresses of properties subject to rezoning within the area boundary. |
| The neighborhood must be similar in design and character. | The neighborhood is very similar in design and character. Lot layouts, setbacks, street layout, and type of construction are consistent throughout the neighborhood. |

| | |
|---|---|
| Dangerous and dilapidated structures as defined in the Municipal Code must not be present within the proposed boundary of the R-0 district. | No dangerous and dilapidate structures currently exist in the area. |
|---|---|

Criteria for Approval

According to Division 13.601 (C) of the Land Development Regulations, the Planning Commission may recommend approval, and City Council may grant the approval of a rezoning request if it is demonstrated that:

1. The proposed zoning is preferable to the existing zoning in terms of its likelihood of advancing the goals, objectives and policies of the City's 2011 Comprehensive Plan and other adopted neighborhood plan, special area plan, redevelopment plan, or other plan applicable to the area;
2. The proposed zoning is consistent with the future land use map of the 2011 Comprehensive Plan (a future land use map amendment may be processed concurrently with the rezoning);
3. The proposed change is consistent with the implementation of existing or pending plans for providing streets, water and wastewater, other utilities and the delivery of public services to the area in which the parcel proposed for rezoning is located;
4. The range of uses and the character of development that is allowed by the proposed zone will be compatible with the properties in the immediate vicinity of the parcel proposed for rezoning, and the parcel proposed for rezoning has sufficient dimensions to accommodate reasonable development that complies with the requirements of these Land Development Regulations, including parking and buffering requirements; and
5. The pace of development and/or the amount of vacant land currently zoned for comparable development in the vicinity suggests a need for the proposed rezoning in order to ensure an appropriate inventory of land to maintain a competitive land market that promotes economic development.

Conformance

Staff finds this request to be consistent with the criteria to establish a Restricted Residential, Single-Family (R-0) zoning district, and the change of zoning approval criteria as prescribed in Section 13.601 (C) of the Land Development Regulations. The neighborhood will remain single-family in orientation, hence not creating any adverse effect or incompatibility issues within the area and existing surrounding uses.

Staff Recommendation

Staff recommends approval of the proposed change of zoning in order to the designate area as a Restricted Residential, Single-Family (R-0) zoning district.

City Council

City Council has the final decision authority and will hear this request at the February 27, 2025 meeting.

Respectfully Submitted,

Cung

for Pete Milburn, Sr. Project Manager

01/28/2025
Date

Cung

Catherine Gorman, AICP
Assistant Director/HPO

01/28/2025
Date

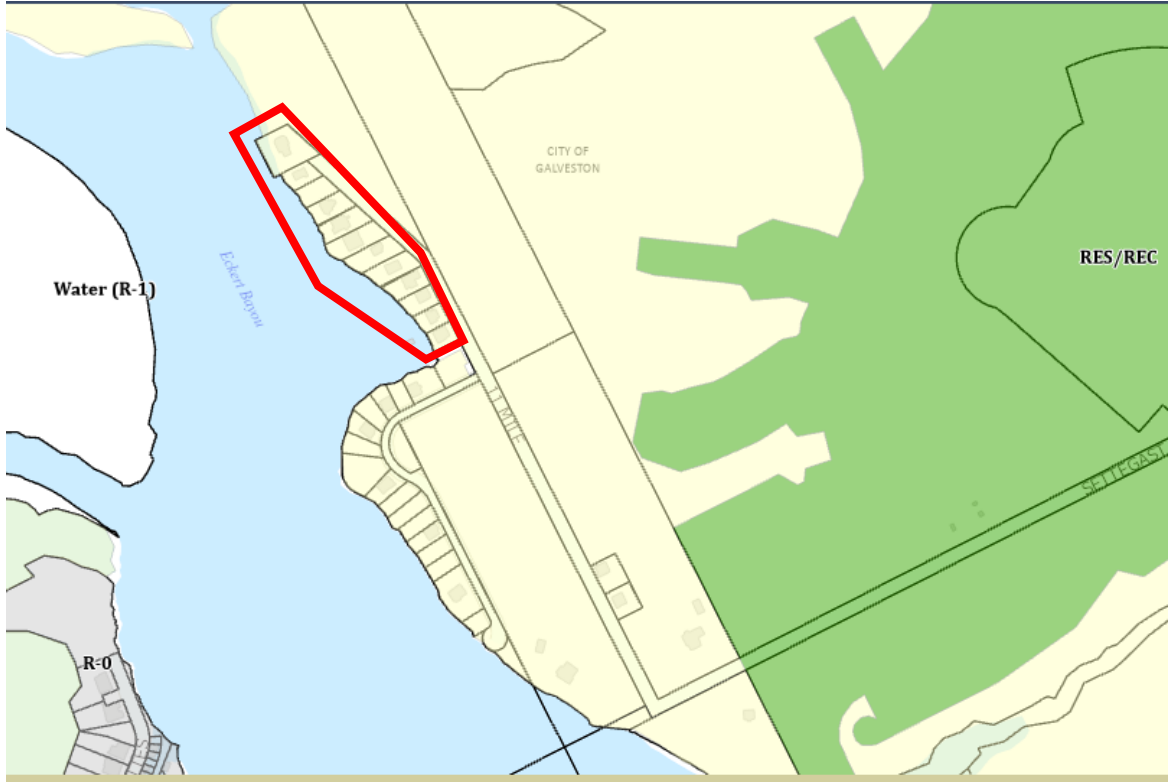


Exhibit B

| Agricultural Land Use | R-0 | R-1 |
|---|-----|-----|
| Agricultural Support | - | - |
| Agriculture/Urban Farming | - | L |
| Commercial Stable | - | - |
| Residential Stable | - | - |
| Veterinarian, Large Animal | - | - |
| Residential Land Uses | R-0 | R-1 |
| Accessory Dwelling Unit | L | L |
| Bed and Breakfast | - | - |
| Boarding House, Dormitory, Fraternity or Sorority | - | - |
| Child Care Facility, Residential (Day Care) | - | - |
| Community Garden | - | L |
| Cottage Food Production | P | P |
| Home Based Business | - | - |
| Home Based Occupation | L | P |
| Hospital House Establishment | - | - |
| Live-Work Unit | - | - |
| Condominium | - | - |
| Duplex | - | - |
| Multi-Family Residential | - | - |
| Residential Land Uses | R-0 | R-1 |
| Personal Care Homes (DADS) | P | P |
| Short Term Rental Residential Dwelling | - | P |
| Single-Family Detached | P | P |

Exhibit B

| | | |
|---|------------|------------|
| Townhouse | - | - |
| Commercial Land Uses | R-0 | R-1 |
| Adult Day Care | - | - |
| Adult Use (SOB) | - | - |
| Alcoholic Beverage Sales, Liquor Store or Package | - | - |
| Arena / Stadium | - | - |
| Auto Service/Fueling or Charging Station | - | - |
| Bar | - | - |
| Boat Repair Facility | - | - |
| Boat Sales or Rental | - | - |
| Child Care Facility, Day Care (Commercial) | - | - |
| Cleaning / laundry pick-up station | - | - |
| Cleaning / laundry-mat self service | - | - |
| College / University / Vo-Tech | - | - |
| Commercial Land Uses | R-0 | R-1 |
| Commercial Amusement, Indoor | - | - |
| Commercial Amusement, Outdoor | - | - |
| Commercial Lodging (Hotel) | - | - |
| Commercial Warehousing and Logistics | - | - |
| Correctional or Rehabilitation Facility | - | - |
| Credit Access Business | - | - |
| Family Care Facility | - | - |

Exhibit B

| | | |
|--|------------|------------|
| Flea Market | - | - |
| Golf Carts, Sales and Service | - | - |
| Gun Shop | - | - |
| Heavy Vehicle, Manufactured Home, Watercraft or Aircraft Sales or Rental | - | - |
| Homeless Shelter | - | - |
| Hospital | - | - |
| Kennel | - | - |
| Library | - | - |
| Medical Office / Clinic / Lab | - | - |
| Fine Arts Instruction | L | L |
| Nursery or Greenhouse, Retail | - | - |
| Nursing / Convalescent Home | - | - |
| Office | - | - |
| Outdoor Storage | - | - |
| Commercial Land Uses | R-0 | R-1 |
| Parking Lot, Commercial Surface Parking Area | - | - |
| Parking Structure or Lot Incidental to Main Use | - | - |
| Parking Structure – Mixed Use | - | - |
| Passenger Motor Vehicle Sales or Rental | - | - |
| Pawn Shop | - | - |
| Personal Fitness | - | - |
| Pet Grooming Services | - | - |
| Place of Private Assembly | - | - |

Exhibit B

| | | |
|--|------------|------------|
| Place of Public Assembly | - | - |
| Private Club | - | - |
| Professional Services, Instruction/Counseling | - | - |
| Public Safety Facility | - | - |
| Recreation Indoor | - | L |
| Recreation Outdoor | - | L |
| Recycling Center | - | - |
| Restaurant, Drive-In / Through | - | - |
| Restaurant, No Drive-In / Through | - | - |
| Retail - Big Box | - | - |
| Retail - Commercial | - | - |
| RV Park | - | - |
| School: Private | - | - |
| Self Storage | - | - |
| Commercial Land Uses | R-0 | R-1 |
| Short Term Rental Residential Dwelling | - | P |
| Small Scale Food And Beverage Production | - | - |
| Substance Abuse Facility | - | - |
| Vehicle Wash | - | - |
| Vending Kiosk/ATM | - | - |
| Veterinarian, Small Animal | - | - |
| Wholesale | - | - |
| Industrial Land Use | R-0 | R-1 |
| Automotive Wrecking and Salvage Yard; Junkyard; Recycling Business | - | - |
| Excavation | L | L |

Exhibit B

| | | |
|--|------------|------------|
| Heavy Industry | - | - |
| Light Industry | - | - |
| Mining / Extraction | - | - |
| Research and Testing Laboratory | - | - |
| Parking and/or Multimodal Transportation Facility | - | - |
| Power Generation | - | - |
| Public Utility Facility, Neighborhood | - | - |
| Industrial Land Use | R-0 | R-1 |
| Towing Service Facility | - | - |
| Uses involving Radioactive Material, not including uses related to diagnosis and treatment of illness; and, construction applications; and, academia and scientific research | - | - |
| Public/Private Land Uses | R-0 | R-1 |
| Airport | - | - |
| Cemetery | - | - |
| Heliport | - | - |
| Helistop | - | - |
| Marina | - | - |
| Public Utility Plant | - | - |
| Rail Yard | - | - |
| Port and Harbor Facilities | - | - |
| Wireless Telecommunication Facility | - | - |



25P-003

STAFF REPORT

ADDRESS:

Adjacent to 312 17th Street

LEGAL DESCRIPTION:

Adjacent property is legally described as M.B. Menard Survey, South 35-1 feet of Lot 1(1-3), Block 556, in the City and County of Galveston, Texas

APPLICANT/REPRESENTATIVE:

Jeremy Slade, Stonewater Inc.

ADJACENT PROPERTY OWNER(S):

Linda Jonjock

EASEMENT OWNER:

City of Galveston

ZONING:

Residential, Single-Family, Historic District (R-3-H)

REQUEST:

License to Use for stairs

APPLICABLE REGULATIONS:

Section 13.202 of the LDR and Chapter 32-5 of the City Code of Ordinances

STAFF RECOMMENDATION:

Approval with findings and conditions

EXHIBITS:

- A – Applicant’s Submittal
- B – Aerial Map

STAFF:

Catherine Gorman, AICP
 Assistant Director/HPO
 (409) 797-3665
 cgorman@galvestontx.gov

Public Notice and Comment:

| Sent | Returned | In Favor | Opposed | No Comment |
|------|----------|----------|---------|------------|
| 25 | | | | |

Per Section 13.808 of the Land Development Regulations and state law, written public notice of this request is required. Public notices are sent to all property owners within 200 feet of the subject site and are sent to the address on file with the Galveston Central Appraisal District.

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- Building Division: No Objection
- Coastal Resources: No Objection
- Fire Marshal: No Objection
- Fire Chief: No Objection
- Police Chief: No Objection
- Public Works: No Objection

Private Utilities Notification Responses:

- AT&T: No Objection
- Comcast: No Objection
- CenterPoint Energy: No Objection
- Texas Gas Service: No Objection



| | |
|---------------------------------|--|
| Executive Summary | The applicant is requesting a License to Use (LTU) the City right-of-way to construct stairs. Due to the proximity of the structure to the west property line, the proposed stairs will encroach approximately six feet, six inches into the 17 th Street right-of-way. |
| Physical Characteristics | <p>The proposed stairs will be located along the west of the structure, oriented parallel to the north property line. The subject property has undergone an extensive renovation, including the elevation of the property to meet floodplain regulations. Due to the increased height of the structure, the stair length has increased.</p> <p>See Attachment A for details of the extents and placement of the proposed improvements.</p> |
| License to Use | A License to Use (LTU) is required prior to placing items within or otherwise obstructing City rights-of-way in accordance with Chapter 32-5 of the City Code of Ordinances. Section 13.202 of the Land Development Regulations (LDRs) establish the procedure for processing LTU approval. |
| Other Reviews | Because the subject property is in the East End Historic District, the Landmark Commission may provide a recommendation to Planning Commission regarding the request. Landmark Commission will consider the request at the February 3, 2025 meeting. |
| Staff Recommendation | <p>Staff recommends approval subject to the following conditions:</p> <p><i>Specific Conditions:</i></p> <ol style="list-style-type: none"> 1. The Licensee shall conform to the site plan in Exhibit A for the placement of the proposed stairs; 2. The Licensee shall be responsible for any damage to the right-of-way area caused by the installation and maintenance of the construction items, and should the right-of-way be damaged in any way, the licensee shall repair the area; <p><i>Standard Conditions:</i></p> <ol style="list-style-type: none"> 3. The Licensee shall conform to all comments/conditions received from City departments and shall obtain all required permits, construction documents, and inspections. Should conformance with the comments/conditions require alterations to the project, as approved, the case must be returned to the Planning Commission for additional review and approval. Failure to comply with all comments/conditions may result in penalties and/or revocation of this permit; 4. The cleaning of the debris from the site shall be the responsibility of the Licensee; 5. The Licensee and all of the Licensee’s rights granted are conditioned that owners of utility facilities, whether publicly or privately owned, have at all times access to the property made subject of the License, together with the right to enter the property and excavate for the purpose of repairing, replacing, locating and maintaining such utility facilities, if any; 6. The Licensee shall execute the License to Use Agreement within 90-days from the date the Planning Commission approved the License to Use, otherwise the Agreement shall be of no further effect and shall be considered as having been canceled fully; 7. LICENSEE UNDERTAKES AND PROMISES TO HOLD THE CITY OF GALVESTON HARMLESS AND TO INDEMNIFY AND DEFEND IT AGAINST ALL SUITS JUDGMENTS, COSTS, EXPENSES AND DAMAGES THAT MAY ARISE OR GROW OUT OF THE USE OR GRANT OF THE LICENSE TO USE CITY RIGHT-OF-WAY UNDER THIS AGREEMENT REGARDLESS OF FAULT; and 8. The City does retain the right and option to cancel the License and terminate all rights of the License upon ninety (90) days written notice of such cancellation and termination, sent to Licensee at the mailing address provided herein; and, Licensee agrees and shall be obligated to vacate the property made subject of the license and to remove all |

improvements and/or obstruction located thereon at Licensee's own expense prior to the expiration of said 90-day notification period.

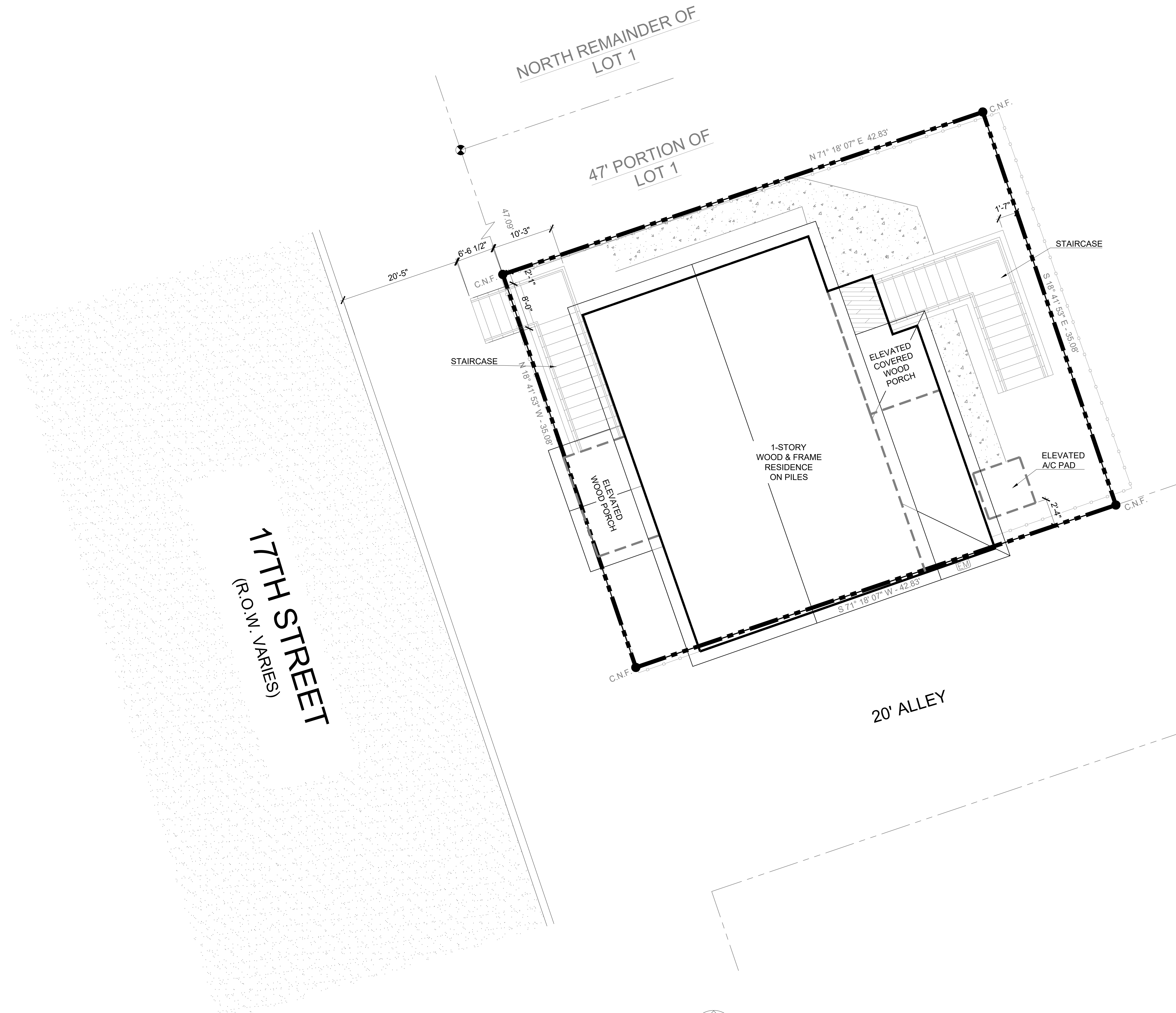
Respectfully Submitted,



Catherine Gorman, AICP
Assistant Director/HPO

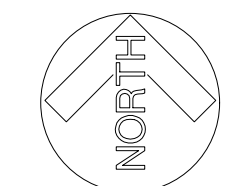
01/31/2025

Date



17TH STREET
(R.O.W. VARIES)

01 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



LEGEND

—○—○—○— FENCE

| Revisions: | | |
|------------|------------|-------------------------|
| # | DATE | DESCRIPTION OF CHANGE |
| 0 | 10/03/2024 | ISSUED FOR CONSTRUCTION |
| | | |
| | | |

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CURTIS C. HAMPTON
 107370
 LICENSED PROFESSIONAL ENGINEER
 STATE OF TEXAS
 10/03/2024

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

COBALT
 ENGINEERING AND INSPECTIONS, LLC
TBPE REG. # 17742 | TBPLS REG. # 10194581
12005 DELANY ROAD • LA MARQUE, TEXAS • 409.354.5925


CLIENT:
 STONEWATER
 PROJECT LOCATION OR ADDRESS:
 312 17TH ST
 GALVESTON, TX 77550



EXISTING SITE PLAN





| | | | |
|--------------|-------------|-------------|--------------------|
| DESIGNED BY: | GEA | CHECKED BY: | CCH |
| PROJECT #: | 20-0197-187 | SCALE: | 1/8" = 1'-0" |
| DATE: | 10/03/2024 | | 20-0197-187EX-0.10 |

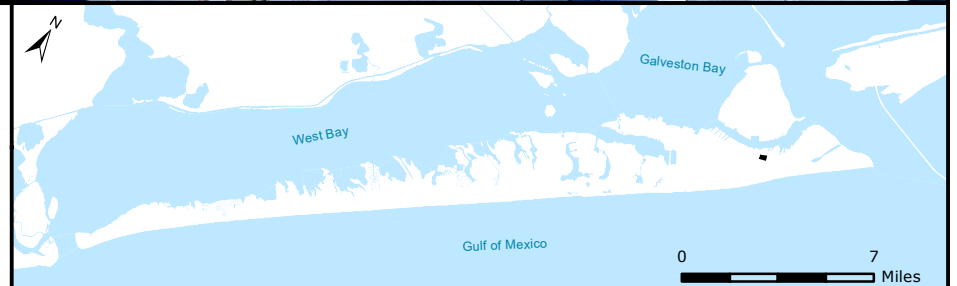


Planning and Development Division


Printed on: 01/30/2025
By: City of Galveston Development Services Department
Source Credits:
 City of Galveston, USGS, et al. - Basemap
 Galveston Central Appraisal District (GCAD) - Street Centerlines & Parcels
 GCAD & Pictometry - 2020 Aerial; City of Galveston - Landmarks, Historic Districts, Zoning Overlays, & Zoning Districts


 1 in = 50 feet
 Feet
 0 40
Coordinate System: NAD 1983 StatePlane Texas South Central FIPS 4204 Feet
Units: Foot US

 Parcels
Image RGB
 Red: Band_1
 Green: Band_2
 Blue: Band_3



*This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations **only** and may contain errors in the databases. Therefore, the information presented on this map is for informational purposes only and should not be construed to be legally binding.*



25P-001 STAFF REPORT

ADDRESS:

13722-14000 San Luis Pass Road/FM 3005

LEGAL DESCRIPTION:

Property is legally described as Part of Lots 32 and 45 (45-5), and Adjacent Abandoned Street, Trimble and Lindsey Survey, Section 3, in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Nasser Zia

PROPERTY OWNER:

Beach Three LLC Series 5

ZONING:

Commercial (C)

REQUEST:

Planned Unit Development (PUD)

APPLICABLE LAND USE REGULATIONS:

Article 4 of the Land Development Regulations

STAFF RECOMMENDATION:

Approval with Conditions

EXHIBIT:

- A – Applicant’s Submittal
- B – Zoning Map

STAFF:

Catherine Gorman, AICP
 Assistant Director/HPO
 409-797-3665
 cgorman@galvestontx.gov

Public Notice and Comment:

| Sent | Returned | In Favor | Opposed | No Comment |
|------|----------|----------|---------|------------|
| 19 | | | | |

Per Section 13.808 of the Land Development Regulations and state law, written public notice of this request is required. Public notices are sent to all property owners within 200 feet of the subject site and are sent to the address on file with the Galveston Central Appraisal District.

City Department Notification Responses:

- Airport: No Objection
- Building Division: No Objection
- Coastal Resources: No Objection
- Fire Marshal: No Objection
- Fire Chief: No Objection
- Police Chief: No Objection
- Public Works: No Objection

Private Utilities Notification Responses:

- AT&T: No Objection
- Comcast: No Objection
- CenterPoint Energy: No Objection
- Texas Gas Service: No Objection



Executive Summary

This is a request for a Planned Unit Development (PUD) Overlay District to establish “Auto Fueling Station” land use in the Commercial (C) zoning district. The purpose of the PUD is:

- To deviate from the minimum distance requirement from single-family residential district stipulated by Section 2.308 of the Land Development Regulations. The requirement is that an “Auto Fueling Station” land use shall be located at least 200 feet from residential use or residential zoning district boundary. The location of the proposed “Auto Fueling Station” is located adjacent to residential zoning district boundary.

The site previously operated as an “Auto Fueling Station” however the gasoline sales ceased in 2020. Since the use has lapsed for more than 365 days, then the new regulations must be met.

Site Details

The subject site consists of a lot located at the northwest corner of the intersection of San Luis Pass Road/FM 3005 and Buccaneer Blvd. The lot has an area of 2.21 acres. The site consists of a commercial center with several businesses including a real estate office, restaurant, seafood market, liquor store, and convenience store.

Compatibility with Base and Surrounding Zoning and Land Uses

The subject site is zoned Commercial (C). The proposed land use is “Auto Fueling Station” which is a Limited Use in the Commercial (C) zoning district. Limited Uses are permitted provided the associated Limited Standards are met. The Limited Standards require that a “Auto Fueling Station” not be located within 200 feet of a residential zoning district boundary. There is residential zoning directly adjacent to the property to the north and west. That residential zoning district is Residential, Single-Family (R-1) and is currently vacant.

Commercial (C) zoning is found to the east and south of the subject property. The site is located at commercial node at the intersection of San Luis Pass Road/FM 3005 and Buccaneer Blvd. Other land uses at this intersection include office, fitness facility, liquor store, and bank.

Staff finds that the proposed land use is generally compatible with the base zone and surrounding zoning and land uses. While the land use of “Auto Fueling Station” carries restrictions on proximity to residential zoning districts, the residential zoning district that is adjacent is currently undeveloped. The site is located at a commercial node which is intended to serve the needs of West End residents and visitors.

The Planned Unit Development (PUD) is a floating zoning district intended to create a mixture of uses, density and infrastructure standards, allowing flexibility in the development standards for specific uses on a specific site.

Ability of the Property to be used under Current Zoning

The subject site is zoned Commercial (C). The Commercial (C) district is intended to accommodate a wide range of retail, service, and office uses while also providing for a variety of housing options. As noted above, the land use of “Auto Fueling Station” carries restrictions on proximity to residential zoning districts.

PUD Details /Development Plan

| | |
|--|--|
| The purpose or intent of the PUD | <p>The purpose or intent of the PUD is:</p> <ul style="list-style-type: none"> To deviate from the minimum distance requirement from single-family residential district stipulated by Section 2.308 of the Land Development Regulations. The requirement is that an “Auto Fueling Station” land use shall be located at least 200 feet from residential use or residential zoning district boundary. The location of the proposed “Auto Fueling Station” is located adjacent to residential zoning district boundary. |
| PUD Land Uses | “Auto Fueling Station”. No prohibitions of other uses permitted in the Commercial (C) base zoning district. |
| Density | No change in density. |
| Building Height | Existing strip center. No additional building. |
| Building Setbacks | No changes to the setbacks |
| Limits of Construction | The construction is only to remove the underground tanks, install a new underground tank, and a 20’x76’ canopy. |
| Building Elevations | No change to the existing building and elevations. |
| Vehicular Parking | There will be no change to the existing parking area. |
| Pedestrian Access | There will be no change to the existing pedestrian access. |
| Streets and Circulation | There will be no change to the existing street and circulation. |
| Screening and Landscape | There will be no change to the existing screening and landscape. |
| Environmental Protection | There will be a plan for any run off from site to storm drains. |
| Signage | There will be no change to existing signage. |
| Lighting | Per Article 7 of the Land Development Regulations. |
| Phasing or Scheduling | The project will be completed in one phase. |
| Unique characteristics or exceptional circumstances | The subject site previously operated as a “Auto Fueling Station” with operations ceasing in 2020. |

Criteria for Approval

Per Section 13.601.C of the Land Development Regulations, the Planning Commission may recommend approval and City Council may grant the approval of a rezoning request if it is demonstrated that:

1. The proposed zoning is preferable to the existing zoning in terms of its likelihood of advancing the goals, objectives, and policies of the City of Galveston 2011 Comprehensive Plan and other adopted neighborhood plans, special area plans, redevelopment plans, or other plans applicable to the area;
2. The proposed zoning is consistent with the future land use map of the City of Galveston 2011 Comprehensive Plan (a future land use map amendment may be processed concurrently with the rezoning);
3. The proposed change is consistent with the implementation of existing or pending plans for providing streets, water and wastewater, other utilities, and the delivery of public services to the area in which the parcel proposed for rezoning is located;
4. The range of uses and the character of development that is allowed by the proposed zone will be compatible with the properties in the immediate vicinity of the parcel proposed for rezoning, and the parcel proposed for rezoning has sufficient dimensions to accommodate reasonable development that complies with the requirements of these Regulations including parking and buffering requirements;
5. The pace of development and/or the amount of vacant land currently zoned for comparable development in the vicinity suggests a need for the proposed rezoning in order to ensure an appropriate inventory of land to maintain a competitive land market that promotes economic development.

Staff Recommendation

Staff finds that the proposed PUD request conforms to the criteria for approval. The uses and the character of development that is proposed are compatible with the properties in the immediate vicinity of the subject parcel. The site is located at a commercial node which is intended to serve the needs of West End residents and visitors. Other land uses at this intersection include office, fitness facility, liquor store, and bank. Prior to ceasing operations in 2020, the subject site long operated as an "Auto Fueling Station" with no history of nuisance complaints.

The site does not conform to the current landscaping screening requirements in the Land Development Regulations. In order to buffer the "Auto Fueling Station" from any potential residential development on the adjacent residential zoning and the traveling public, Staff recommends that right-of-way screening and visual screening per sections 9.301(B) and 9.301(D) be installed. The screening requires a four-foot wide planting strip consisting of shrubs, hedges, and trees. The right-of-way screening would be required between any parking or loading areas and any street rights-of-way abutting the site, including San Luis Pass Road/FM 3005 and Buccaneer Blvd. The visual screening shall be installed and maintained between the parking or loading areas and driveways, and the residential zoning district.

Staff recommends approval with the following conditions:

Specific Conditions;

1. Granting of a PUD zoning district shall not relieve the developer from complying with all other applicable sections of the Land Development Regulations (LDR), and other Codes and Ordinances of the City of Galveston, unless such relief is specified in the approved PUD plan and PUD ordinance. Relief provided by this PUD plan includes:
 - a. To deviate from the minimum distance requirement from single-family residential district stipulated by Section 2.308 of the Land Development Regulations. The requirement is that an “Auto Fueling Station” land use shall be located at least 200 feet from residential use or residential zoning district boundary. The location of the proposed “Auto Fueling Station” is located adjacent to residential zoning district boundary.
2. The use shall conform to the attached PUD plan and other applicable ordinances;
3. A building permit(s) for the project shall be issued no later than 24-months from the date of City Council approval and shall proceed in accordance with Ordinance 20-008, Timeframe for Permits for Construction Activity;
4. Prior to the issuance of a building permit, the developer shall install right-of-way and visual screening per sections 9.301(B) and 9.301(D) of the Land Development Regulations;

Standard Conditions of a Planned Unit Development (PUD):

5. The applicant shall adhere to all comments/conditions received from City departments;
6. Any change or revisions to the adopted PUD Plan shall require an amendment to the PUD ordinance, which requires review by the Planning Commission and City Council. Minor additions and modifications to the approved PUD plan meeting the criteria set forth in Article 4, Section 4.102 (d)(3) of the Land Development Regulations (LDR) may be approved by the Development Services Department;
7. There shall be no nuisance created or cause any perceptible noise, odor, smoke, electrical interference, or vibrations that constitute a public or private nuisance to neighboring properties; and,
8. The applicant shall submit for approval all plans to the Development Services Department for compliance with all City codes.

City Council has the final decision regarding this PUD request. Council will hear this request on February 27, 2025.

Respectfully Submitted,



Catherine Gorman, AICP, Assistant Director/HPO

01/28/2025

Date

D. Development Plan- Reponses

Development Plan requirement:

- a. The purpose and intent of the PUD
The purpose is to remove existing under storage tanks and install one new underground storage for selling car fuel at existing C-store.
The location used to be as Auto fueling Station. the store stopped selling fuel after Covid -19.
The original store owner could not continue due to lack of business and sold out the business. The new owner wants to upgrade the store and continue the business.
- b. PUD land uses:
There is an existing strip center over 10,000 sq. ft
It is also used as auto fueling station.
- c. Density:
No change to existing density
- d. Building height:
Existing strip center, no addition building
- e. Building setback:
There will no change to set back, survey included
- f. Limits of construction:
The construction only to remove underground tanks, install a new underground tank and a canopy 20'x76'
- g. Building elevation:
No change to the existing building and elevations
- h. Vehicular parking:
There will be no change to existing parking areas
- i. Pedestrian access:
There will be on change to existing pedestrian access
- j. Streets and circulation:
No change to existing street and circulation

K. screening and landscaping:

There will be no change to existing screening and landscaping

l. Environmental protection:

There will be a plan for any run off from site to storm drains.

m. Signage:

There will no change to existing signages

n. Lighting:

There will no change to existing lighting, only adding extra lighting for new canopy

o. Phasing or scheduling

There will time only for construction time, this will not block any public Road

2. The application shall specify the extent to which deviation from otherwise applicable code requirements is justified by unique characteristics of the site or other exception circumstance.

We are requesting only a variance to remove old tanks and install a new 20K underground storage tank and a canopy at this location. It is a land use variance.

We are not changing or modifying any part of the building or parking area or driveways.

3. This Section is not applicable for this project.

4. This section is not applicable for this project.



Hummels General Store
 13722 FM 3005 Rd.
 Galveston, TX
 77554

SW tank location
 size: 35'x10'
 20K gal.,
 comp. 4k,12k,4k

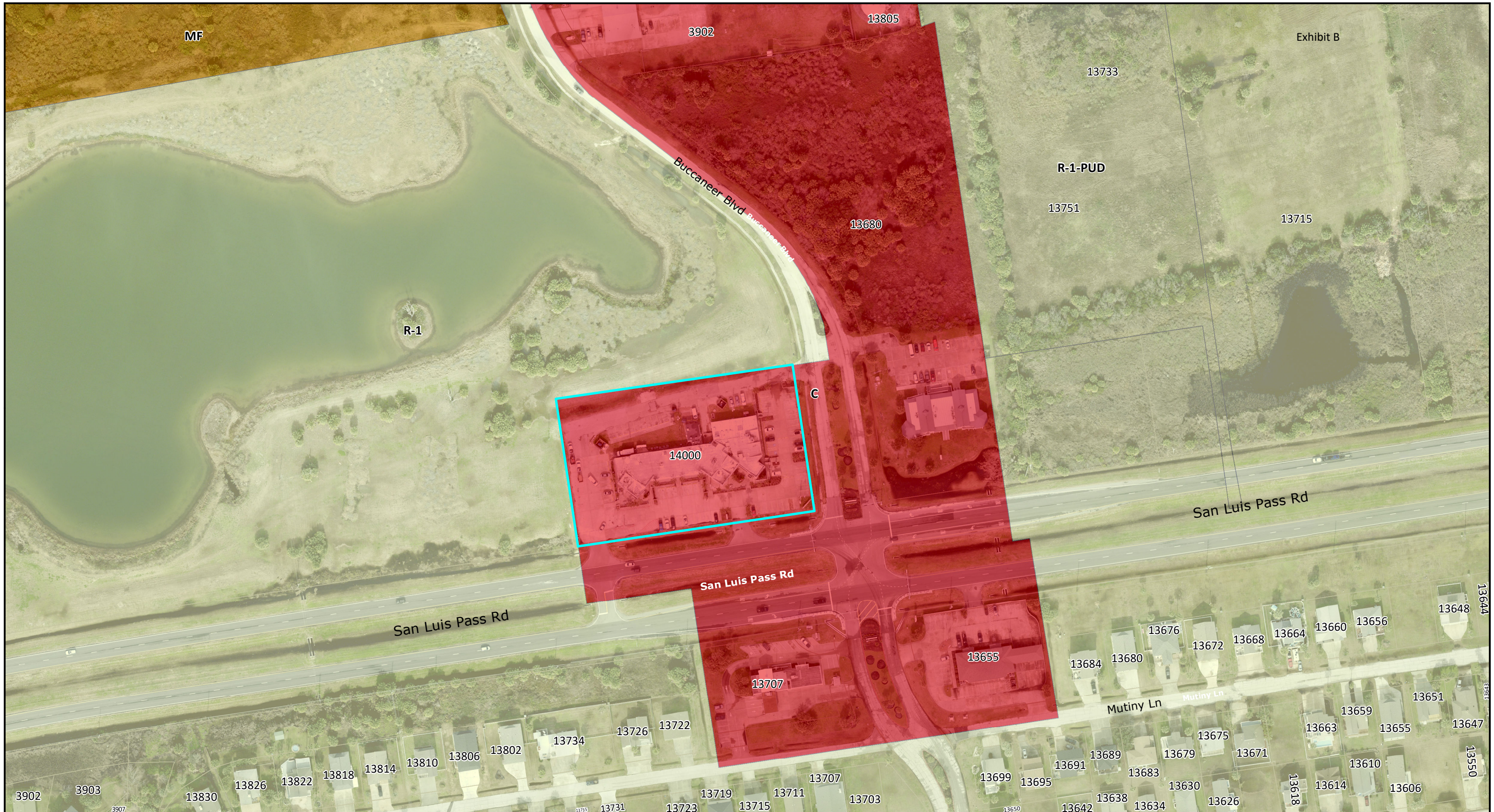
Location of:
 New canopy
 24'x76'-
 3 new columns
 3 new dispensers

Site Plan

| Legend | |
|--------|----------------|
| | Overhead Power |
| | Ripe Road |
| | Wood Fence |
| | Concrete |
| | Asphalt |
| | Water Meter |
| | Power Pole |
| | Down Day |
| | Clean-out |
| | Light Pole |
| | Manhole |
| | Fire Hydrant |
| | Easement Line |

Drafting: JA
 Parcel ID: 3096.10
 Surveyed for: Mike Al

| | | | |
|--|--|------------------------------|-------|
| NZ Construction Corp. 4450 S. Wayside Dr. Suite 101 Houston, TX 77087 | Project: 13722 FM 3005 Rd. Galveston, TX | Draw By: | Date: |
| | Scale: | Project No: COM2023-00242 | |



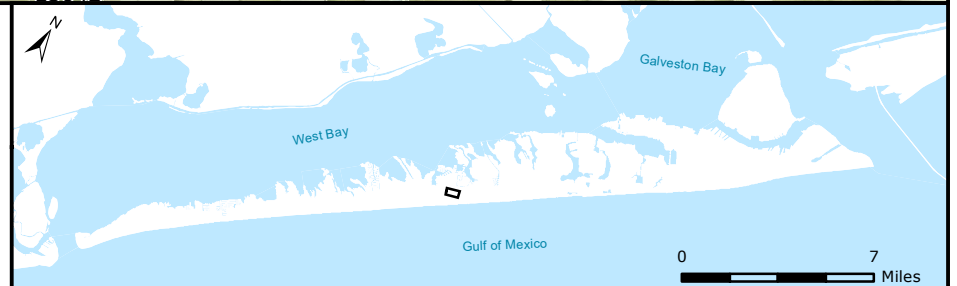
Planning and Development Division

Printed on: 01/28/2025
By: City of Galveston
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Coordinate System: NAD 1983 StatePlane
 Texas South Central FIPS 4204 Feet
Units: Foot US

- 1 in = 148 feet
- 0 140 Feet
- Commercial (C)
 - Multifamily (MF)
 - Residential, Single-Family (R-1)
 - Parcels
- Image**
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3



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