

AGENDA
PLANNING COMMISSION
REGULAR MEETING
9:00 a.m. Tuesday, March 4, 2025
City Council Chambers, 2nd Floor of City Hall
823 Rosenberg, Galveston, Texas

**One or more members of the Planning Commission may attend the meeting by
videoconference.**

**A quorum of the members of the Planning Commission will be physically present at the
meeting location.**

1. Call Meeting To Order
2. Attendance
3. Conflict Of Interest
4. Approval Of Minutes
 - A. February 18, 2025– Regular Meeting

Documents:

[02-18-2025 PC MINUTES.PDF](#)

5. Public Comment

Request to Address Commission on Agenda Items Without Public Hearings and Non-Agenda Items (three-minute maximum per speaker. If speaking through a translator, six-minute maximum per speaker)

6. Public Hearings
 - A. DUNE MITIGATION

1. 25BF-002 (801 East Beach Drive) Notice Of Mitigation For Disturbance Of Dunes And Dune Vegetation. Property Is Legally Described As Abstract 628 M Menard Survey Lot 3 (5-0) Palisade Palms Replat (2008), A Subdivision In The City And County Of Galveston, Texas. Applicant: Richard G. Anderson Property Owner: Palisade Palms Master Assoc / East Beach Project Phase 1

Documents:

[25BF-002 - PC MEMO PKT.PDF](#)

7. New Business And Associated Public Hearings
 - A. BEACHFRONT CONSTRUCTION CERTIFICATE/DUNE PROTECTION PERMITS
 1. 24BF-137 (11395 Beachside Drive) Request For Beachfront Construction Certificate And

Dune Protection Permit To Include Proposed Construction Of A Large-Scale Single-Family Residence With Unreinforced Fibercrete For Driveway And Slab. Property Is Legally Described As Beachside Village Section 4 (2016) Abstract 121, Lot 430, Acres 0.3488, A Subdivision In The City And County Of Galveston, Texas. Applicant: Dana Lee – Egret Bay Builders, LLC Property Owner: Ignacio And Camila Cubero

Documents:

[STF_PKT - 24BF-137.PDF](#)

B. TEXT AMENDMENT

1. 25ZA-001 Request For A Text Amendment To The Galveston Land Development Regulations, Article 13: Permits And Procedures To Establish A Fee For Galveston Landmark Designation And Replacement Galveston Landmark Plaques. Applicant: Development Services Department

Documents:

[25ZA-001 STF PKT - PC.PDF](#)

8. Discussion Items

- A. Discussion Of Topics For The March 18, 2025, Planning Commission Workshop (Staff)

9. Adjournment

I certify that the above Notice of Meeting was posted in a place convenient to the public in compliance with Chapter 551 of the Texas Government Code on February 25, 2025 at 3:30 P.M.

Prepared by: Karina Rosales, Planning Technician

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), PERSONS IN NEED OF A SPECIAL ACCOMMODATION TO PARTICIPATE IN THIS PROCEEDING SHALL, WITHIN THREE (3) DAYS PRIOR TO ANY PROCEEDING, CONTACT THE CITY SECRETARY'S OFFICE, SUITE 201, 823 ROSENBERG, GALVESTON, TX 77550 (409-797-3510)

MEMBERS OF CITY COUNCIL MAY BE ATTENDING AND PARTICIPATING IN THIS MEETING



City of Galveston

MINUTES OF THE PLANNING COMMISSION OF THE CITY OF GALVESTON
REGULAR MEETING – February 18, 2025

CALL MEETING TO ORDER

The meeting was called to order at 3:30 p.m.

ATTENDANCE

Members Present: Rejone Edwards, Stan Humphrey, Mary Jan Lantz, John Lightfoot, Anthony Rios, Tom Singleton, Rusty Walla, Councilmember Beau Rawlins

Members Absent: None

Staff Present: Catherine Gorman, AICP, Assistant Director/HPO; Daniel Lunsford, Senior Planner; Kyle Clark, Coastal Resources Manager; Donna Fairweather, Sr. Assistant City Attorney; Karina Rosales, Planning Technician.

CONFLICT OF INTEREST

None

APPROVAL OF MINUTES

The February 4, 2025, regular meeting minutes were accepted as presented.

PUBLIC COMMENT

None

PUBLIC HEARING

DUNE MITIGATION

24BF-136 (Beachside Village – AP-7) Notice of mitigation for disturbance of dunes and dune vegetation. Property is legally described as Beachside Village Section 9 (2024) Reservation F & G, a subdivision in the City and County of Galveston, Texas.

Applicant: Debbie Reinhart

Property Owner: Ohana Development, LLC

A public hearing was held.

NEW BUSINESS AND ASSOCIATED PUBLIC HEARINGS

GALVESTON LANDMARK

25P-002 (2114 Avenue O) Request for designation as a Galveston Landmark. The property is legally described as M.B. Menard Survey, Lot 11, Southwest Block 43, Galveston Outlots, in the City and County of Galveston, Texas.

Applicant: Cindy and Jim Laufer

Property Owner: Cindy and Jim Laufer

Staff presented the staff report and noted that 29 public hearing notices were sent, and one returned in favor.

Chairperson Walla opened the public hearing on the case. The public hearing was closed, and the Chairperson called for a motion.

Vice-Chairperson Lantz made a motion to recommend approval of the request with Staff's Recommendations.

Commissioner Edwards seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor:	Edwards, Humphrey, Lantz, Lightfoot, Rios, Singleton, Walla
Opposed:	None
Absent:	None
Non-voting participant:	Councilmember Beau Rawlins

The motion passed.

LICENSE TO USE

25P-005 (Adjacent to 112 23rd Street) Request for a License to Use in order to place a card reader in the City of Galveston right-of-way. Adjacent property is legally described as Lot A Thompson Place (2022) Abstract 628, in the City and County of Galveston, Texas.

Applicant: David Watson

Property Owner: SC Galveston Thompson, LLC.

Staff presented the staff report and noted that 12 public hearing notices were sent, and none returned.

Chairperson Walla opened the public hearing on the case. The applicant, David Watson, gave a presentation to the commission. The public hearing was closed, and the Chairperson called for a motion.

Commissioner Rios made a motion to approve the request with Staff's Recommendations.

Chairperson Walla seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor:	Edwards, Humphrey, Lantz, Lightfoot, Rios, Singleton, Walla
Opposed:	None
Absent:	None
Non-voting participant:	Councilmember Beau Rawlins

The motion passed.

25P-006 (Adjacent to Beachside Village Phase 9, Reserves F and G) Request for a License to Use in order to place Mobimat accessible paths in the City of Galveston right-of-way. Adjacent property is legally described as Beachside Village Section 9 (2024), Reserves F & G, in the City and County of Galveston, Texas.

Applicant: Debbie Reinhart, Ohana Development, LLC.

Adjacent Property Owner: Ohana Development, LLC.

Easement Holder: City of Galveston

Staff presented the staff report and noted that 30 public hearing notices were sent, and eight returned in favor.

Chairperson Walla opened the public hearing on the case. The applicant, Debbie Reinhart, gave a presentation to the commission. The public hearing was closed, and the Chairperson called for a motion.

Vice-Chairperson Lantz made a motion to approve the request with Staff's Recommendations.

Commissioner Rios seconded.

The Chairperson called for questions or comments from the Commission. The following votes were cast:

In favor:	Edwards, Humphrey, Lantz, Lightfoot, Rios, Singleton, Walla
Opposed:	None
Absent:	None
Non-voting participant:	Councilmember Beau Rawlins

The motion passed.

The Commission requested a workshop to be scheduled on March 18, 2025, to discuss topics to be worked on in collaboration with City Council. The item "Discussion of topics for the March 18, 2025, Planning Commission workshop (Staff)" will also be added to the March 4, 2025, meeting agenda.

THE MEETING ADJOURNED AT 4:30 PM





City of Galveston

DEVELOPMENT SERVICES

Coastal Resources Division

CoastalResources@GalvestonTX.Gov | 409-797-3660 | www.galvestontx.gov

To: Rusty Walla, Planning Commission Chairperson, City of Galveston Planning Commission
From: Kyle Clark, Coastal Resources Manager
Date: Monday, February 24, 2025
Re: **25BF-002 (801 East Beach Drive)** Notice of mitigation for disturbance of dunes and dune vegetation. Property is legally described as Abstract 628 M Menard Survey Lot 3 (5-0) Palisade Palms Replat (2008), a subdivision in the City and County of Galveston, Texas.
Applicant: Richard G. Anderson
Property Owner: Palisade Palms Master Assoc / East Beach Project Phase 1

Summary:

The City of Galveston Dune Protection and Beach Access Plan designates staff as the authority to review and issue Beachfront Construction Certificates/Dune Protection Permits for the following projects: new driveways, slabs, ground level enclosures, pedestrian access dune walkovers, sand fences, perimeter fencing, fill projects, dune restoration projects, and other construction activities located 50-feet landward of the Dune Protection Line¹.

Ordinarily projects such as these are administratively reviewed and approved by staff and do not require a public hearing with the Planning Commission. However, the Dune Protection Act² requires the applicant notify property owners immediately adjacent to the construction site that a public hearing will be held when a proposed construction activity will result in adverse effects to dunes or dune vegetation and mitigation is required.

Description

The applicant is requesting approval to construct a 235-foot-long extension from the existing walkover. The new portion will start from the existing observation deck and will end at a new observation deck with switchback and stairs. The applicant will grade a portion of dune to be semi level for a truck to install the paired posts for walkover extension. The graded area will be returned to its preconstruction conditions including contour, elevation and vegetation. A total of 6,479 square feet. This will be considered mitigation in place. An existing 521 square foot portion of walkover that is on the ground will be removed. A separate mitigation of 26.22 feet will be added to this location to count towards the adverse impacts for the paired post installation.

¹ City of Galveston Dune Protection and Beach Access Plan, Section D(5)

² Texas Natural Resources Code § 63.056



City of Galveston

DEVELOPMENT SERVICES

Coastal Resources Division

CoastalResoures@GalvestonTX.Gov | 409-797-3660 | www.galvestontx.gov

Public notice of the March 4, 2025, Planning Commission meeting was sent to 295 adjacent property owners, most being the residents of Palisade Palms. Public notice was sent to adjacent property owners as an opportunity to provide input on the proposed activities.

Planning Commission:

No action from the Planning Commission is needed at the public hearing. Before issuance of a Beachfront Construction / Dune Protection Permit, Staff will ensure the proposed construction activities conform to the City's Dune Protection and Beach Access Plan and comments provided by the Texas General Land Office (GLO).

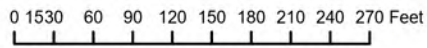
A – Aerial Map

**801 East Beach Drive
Case #25BF-002**

**BEG and FIRM Coastal Map
Legend**

**BEG Shoreline Change Rates
1950s-2019 - End Point Rate (ft/yr)**

- ▲ Eroding (-1ft or more)
- ◆ Stable (-1ft to 1 ft)
- ▼ Accreting (+1ft or more)
- FIRM Panels
- 0.2% Annual Chance
- Zone A
- Zone AE, Zone AO
- Zone VE
- Zone X
- Open Water
- Subdivisions
- 1000ft from MHT
- Lot Lines
- Parcels



1:1,750

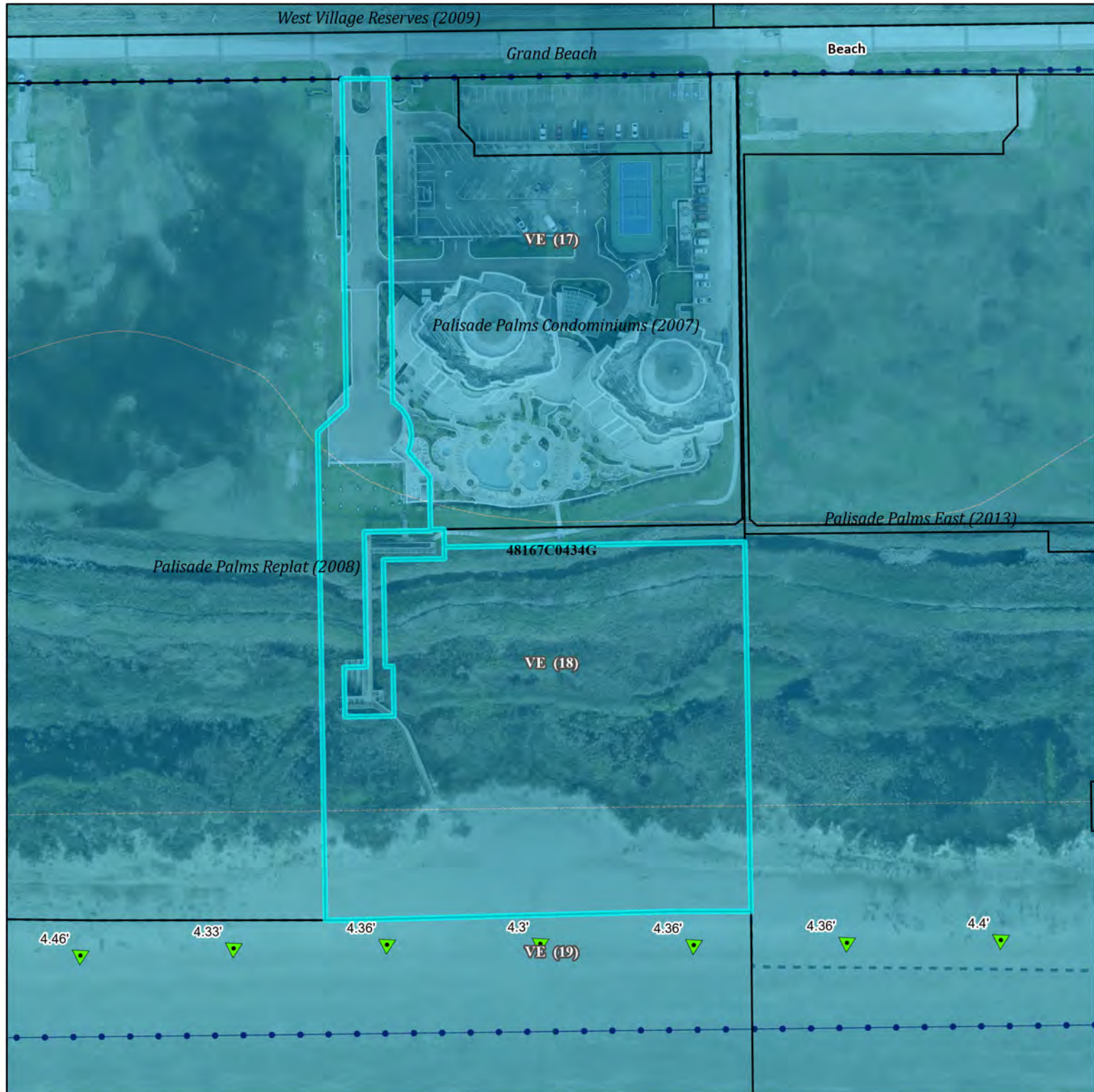
Data Sources:

Aerial Imagery and Parcel Data from Galveston CAD,
Shoreline Change Data from U.T. Bureau of Economic
Geology, Flood Insurance Rate Map from FEMA.

**Map prepared by the City of Galveston Development
Services Department, Coastal Resources Division
(HCummings) - 2/5/2025**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases.



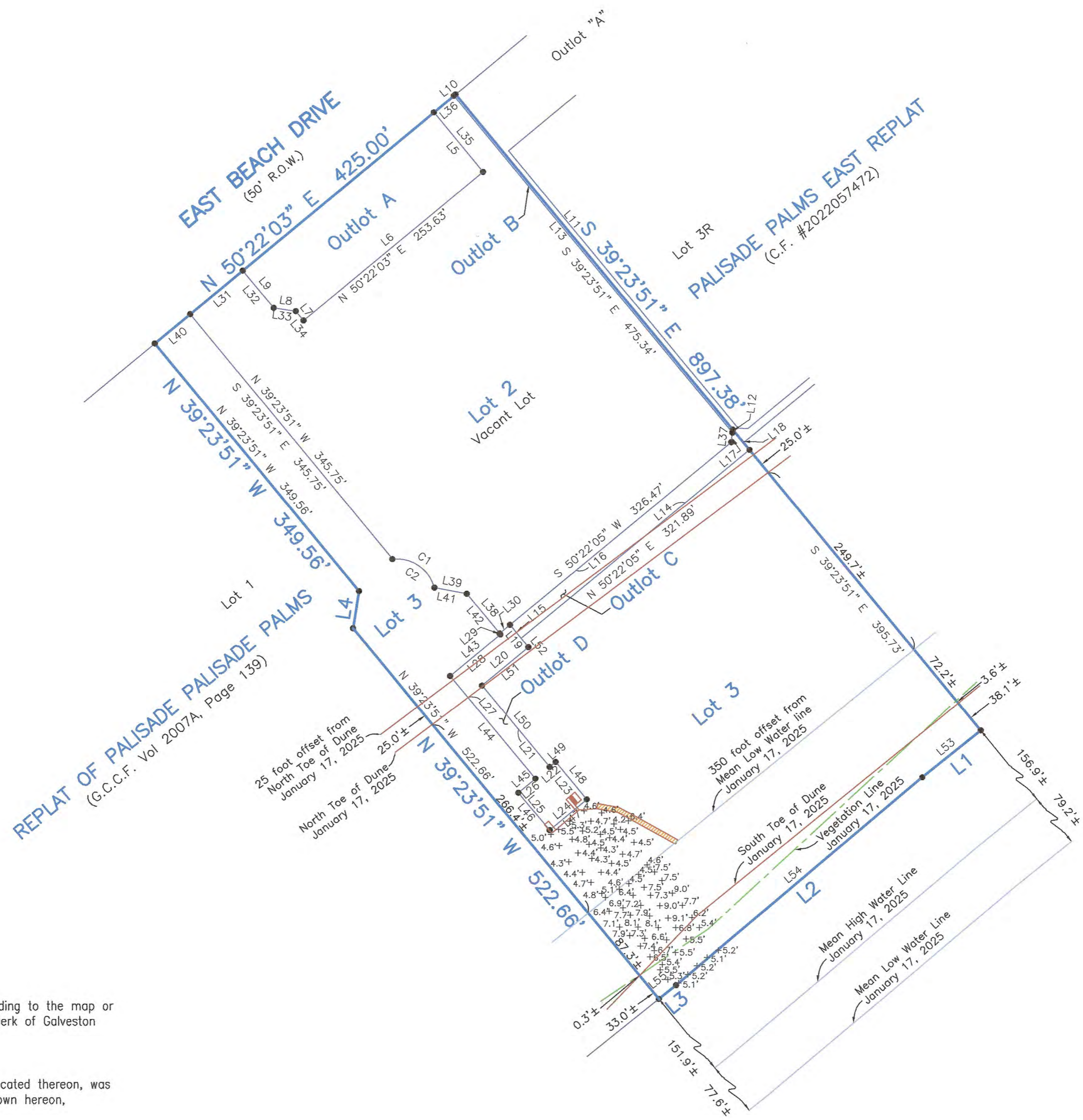
B – Topographic Surveys

LINE	BEARING	DISTANCE
L1	S 51°09'13" W	81.61'
L2	S 49°48'52" W	350.32'
L3	S 51°16'36" W	23.95'
L4	N 09°13'40" E	41.10'
L5	S 39°23'51" E	84.00'
L6	S 50°22'03" W	253.63'
L7	N 39°23'51" W	13.27'
L8	N 81°29'59" W	24.24'
L9	N 39°23'51" W	52.68'
L10	N 50°22'03" E	2.45'
L11	S 39°23'17" E	473.08'
L12	S 06°50'23" W	3.29'
L13	N 39°23'51" W	475.34'
L14	S 50°22'05" W	321.81'
L15	N 39°37'40" W	19.01'
L16	N 50°22'05" E	311.87'
L17	N 06°50'23" E	13.88'
L18	S 39°23'17" E	28.57'
L19	S 39°37'40" E	31.51'
L20	S 50°22'05" W	65.50'
L21	S 39°37'40" E	115.16'
L22	N 50°22'05" E	8.50'
L23	S 39°37'40" E	53.00'
L24	S 50°22'05" W	52.51'
L25	N 39°37'40" W	53.00'
L26	N 50°22'05" E	24.01'
L27	N 39°37'40" W	145.32'
L28	N 50°22'05" E	70.89'
L29	N 39°23'51" W	1.35'
L30	N 50°22'05" E	14.60'
L31	N 50°22'03" E	74.42'
L32	S 39°23'51" E	52.68'
L33	S 81°29'59" E	24.24'
L34	S 39°23'51" E	13.27'
L35	N 39°23'51" W	84.00'
L36	N 50°22'03" E	28.25'
L37	S 06°50'23" W	10.59'
L38	N 39°23'51" W	56.17'
L39	N 79°07'35" W	35.68'
L40	N 50°22'03" E	50.00'
L41	S 79°07'35" E	35.68'
L42	S 39°23'51" E	57.52'
L43	S 50°22'05" W	70.89'
L44	S 39°37'40" E	145.32'
L45	S 50°22'05" W	24.01'
L46	S 39°37'40" E	53.00'
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L50	N 39°37'40" W	115.16'
L51	N 50°22'05" E	65.50'
L52	N 39°37'40" W	12.50'
L53	S 51°09'13" W	81.61'
L54	S 49°48'52" W	350.32'
L55	S 51°16'36" W	23.95'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	42.00'	60.45'	55.37'	N 55°47'11" W	82°27'53"
C2	42.00'	60.45'	55.37'	S 55°47'11" E	82°27'53"



SCALE: 1" = 100'



NOTE:

Outlot A is a reserve for public beach access that is owned, maintained, and operated privately.

Topographic Survey of Outlot "A", Outlot "B", Outlot "C", and Outlot "D", of PALISADE PALMS, according to the map or plat thereof recorded in Volume 2004A, Page 69, of the Map Records in the Office of the County Clerk of Galveston County, Texas, and included Lots Two (2) and Three (3).

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.

Stephen C. Blaskey

Stephen C. Blaskey
Registered Professional
Land Surveyor No. 5856



SURVEY DATE:	JANUARY 17, 2025
FILE No.:	5559-0000-0005-000
DRAFTING:	AM
JOB No.:	25-0029



GALVESTON OFFICE
Registration Number: 10193855
(409) 740-1517 www.hightidelandsurveying.com
8017 HARBORSIDE DRIVE | GALVESTON, TX 77554
Mailing | P.O. BOX 16142 | GALVESTON, TX 77552

NOTES:

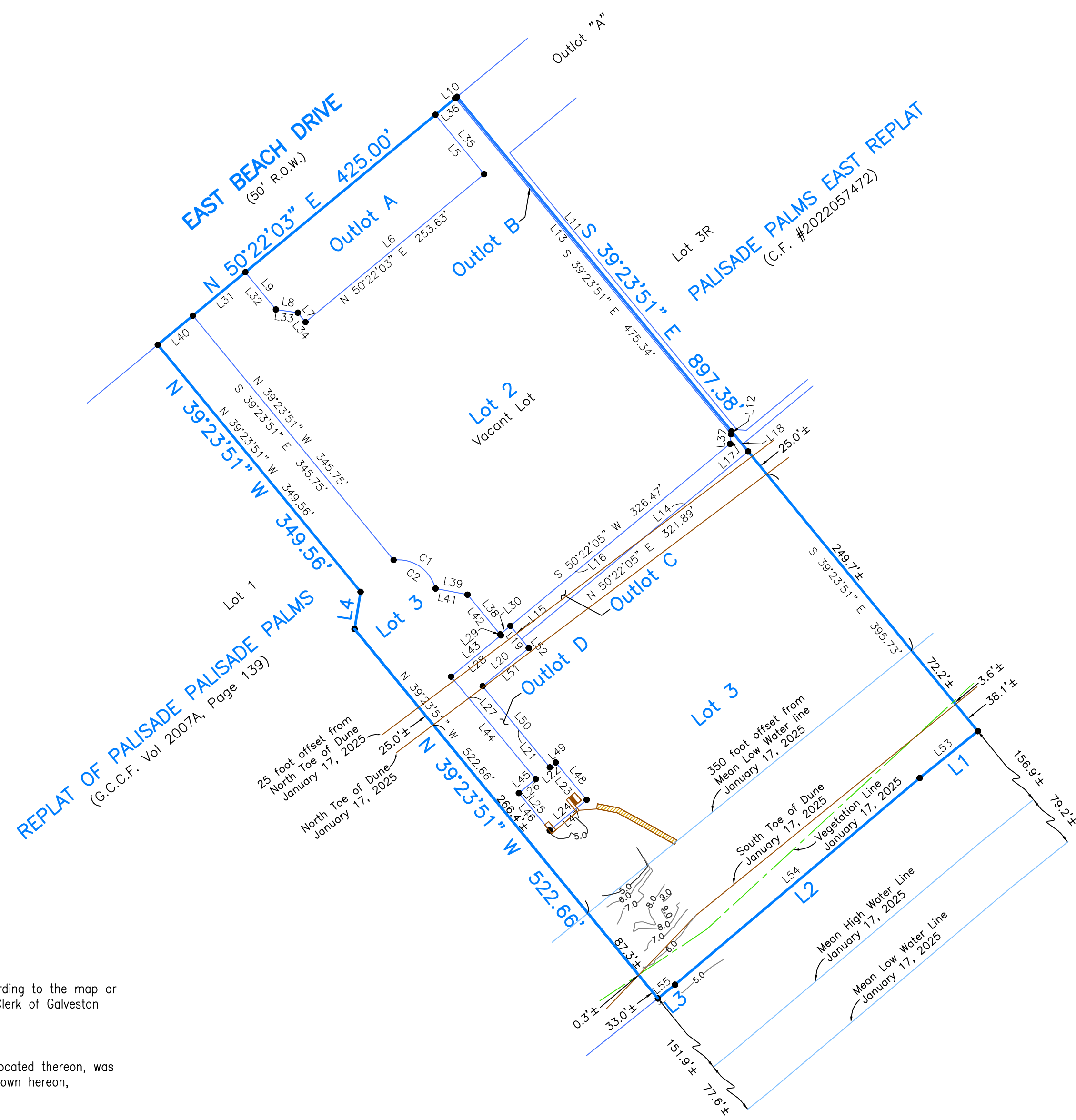
- 1) This property does not lie within the 100 Year Flood Plain as established by the Federal Emergency Management Agency.
- 2) This property is subject to any restrictions of record as established by the City, Plat, or Subdivision Covenants and Restrictions; may also be subject to easements and setbacks for utility services and power lines as individually recorded or established by OSHA (call your power company).
- 3) Bearings based on Monumentation of the South R.O.W. line of East Beach Drive.
- 4) Deed references shown hereon are not a statement of ownership.
- 5) Elevations are shown in feet above Mean Sea Level NAVD '88 Datum as tied to NGS Monument HGCS02 62.
- 6) Surveyed without benefit of a Title Report.

LINE	BEARING	DISTANCE
L1	S 51°09'13" W	81.61'
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SCALE: 1" = 100'



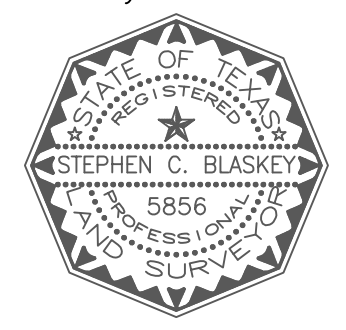
NOTE:

Outlot A is a reserve for public beach access that is owned, maintained, and operated privately.

Topographic Survey of Outlot "A", Outlot "B", Outlot "C", and Outlot "D", of PALISADE PALMS, according to the map or plat thereof recorded in Volume 2004A, Page 69, of the Map Records in the Office of the County Clerk of Galveston County, Texas, and included Lots Two (2) and Three (3).

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.

Stephen C. Blaskey
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 Registered Professional
 Land Surveyor No. 5856



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REVISED: FEBRUARY 13, 2025
 SURVEY DATE: JANUARY 17, 2025
 FILE No.: 5559-0000-0005-000
 DRAFTING: AM
 JOB No.: 25-0029

- NOTES:**
- 1) This property does lie within the 100 Year Flood Plain as established by the Federal Emergency Management Agency.
 - 2) This property is subject to any restrictions of record as established by the City, Plat, or Subdivision Covenants and Restrictions; may also be subject to easements and setbacks for utility services and power lines as individually recorded or established by OSHA (call your power company).
 - 3) Bearings based on Monumentation of the South R.O.W. line of East Beach Drive.
 - 4) Deed references shown hereon are not a statement of ownership.
 - 5) Elevations are shown in feet above Mean Sea Level NAVD '88 Datum as tied to NGS Monument HGCSO 62.
 - 6) Surveyed without benefit of a Title Report.
- The Mean High Water Line and the Mean Low Water Line depicted hereon were located on January 17, 2025, and are referenced to the tide gauge located at the Galveston Pleasure Pier (NOAA ID# 8771510). The location of the MHW and MLW were determined by transferring the NOAA determined MHW and MLW elevations that are published for the N.G.S. Monument "WALL" (PID AW0588) to the site using RTK GPS techniques. The elevation used for the N.G.S. Monument "WALL" is 14.11 feet, the elevation used for the Mean High Water is 1.17 feet, and the elevation used for Mean Low Water is -0.30 feet.

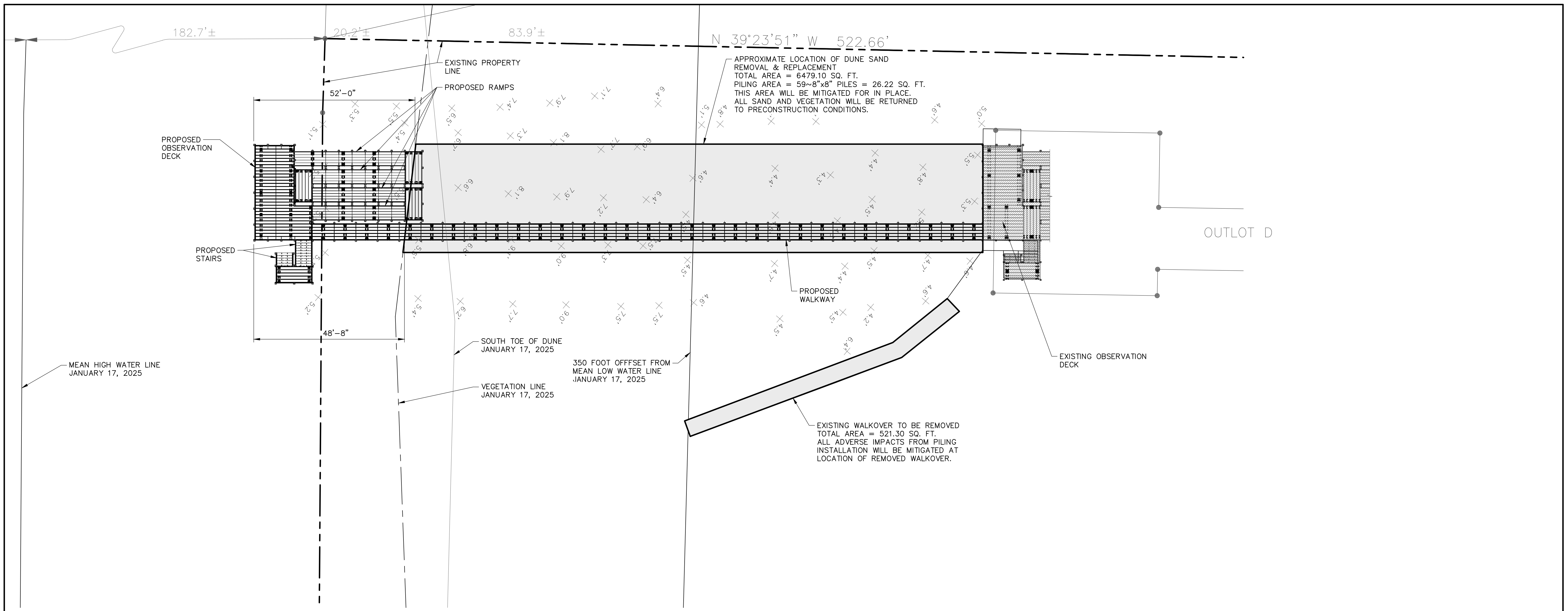
C – Site Plans and Drawings

Palisade Palms – AP-1(B) Public Beach Access Dune Walkover Bridge Extension

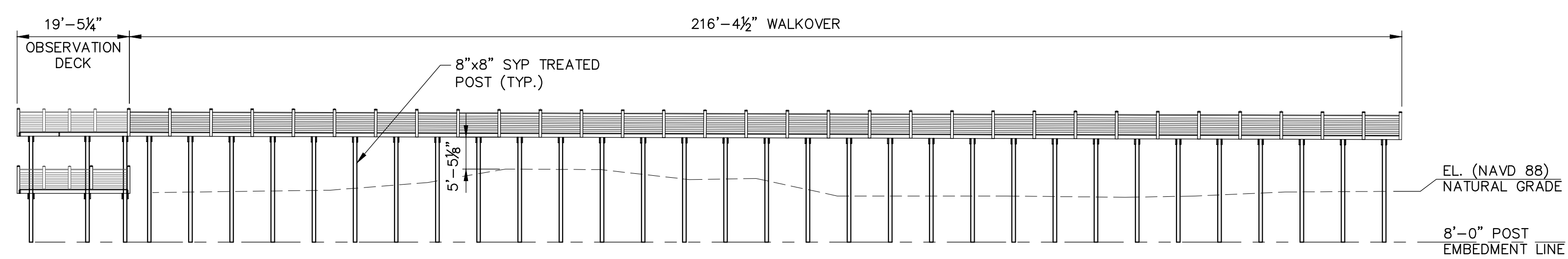
Executive Summary

01/06/2025

- The purpose for the +/- 250' dune walkover extension is that the current terminal point of the existing dune walkover bridge is materially north of the current line of vegetation due to being located in an accreting area of the beachfront. As a result, pedestrians must travel from the terminal point down a narrow pathway at grade level to get to the beach. This pathway not only impacts the dune and vegetation within the existing dune/swale system, but also presents potential life/safety risks such as twisting of an ankle or being bitten by a rattlesnake or other form of wildlife species.
- Upon receipt of a Building Permit and Beach Construction Certificate, Lucas Construction will mobilize the project location to commence construction.
- An area will be graded semi-level within the dune mitigation area in order to safely allow for pile driving equipment to install structural piles related to the dune walkover bridge extension.
- During the grading operation, the environmental consultant, Berg Oliver, will be on site observing the grading and advising on the protection of the existing dune/swale mitigation area.
- Once all the major structural components are in place (i.e. piles, joists, beams, etc.) the contractor will place the dune spoils back in the original location and configuration. Berg Oliver will be on site observing and advising on this operation.
- Subsequently, Berg Oliver will manage the installation of vegetation in the dune/swale spoils area.
- All remaining decking, handrails, and trim will be concurrently installed pursuant to the construction documents.
- Estimated construction duration is six weeks to eight weeks subject to inclement weather conditions.
- It is intended to keep AP-1(B) access open during the entire construction period if it can be done in a safe manner which we believe it can be.

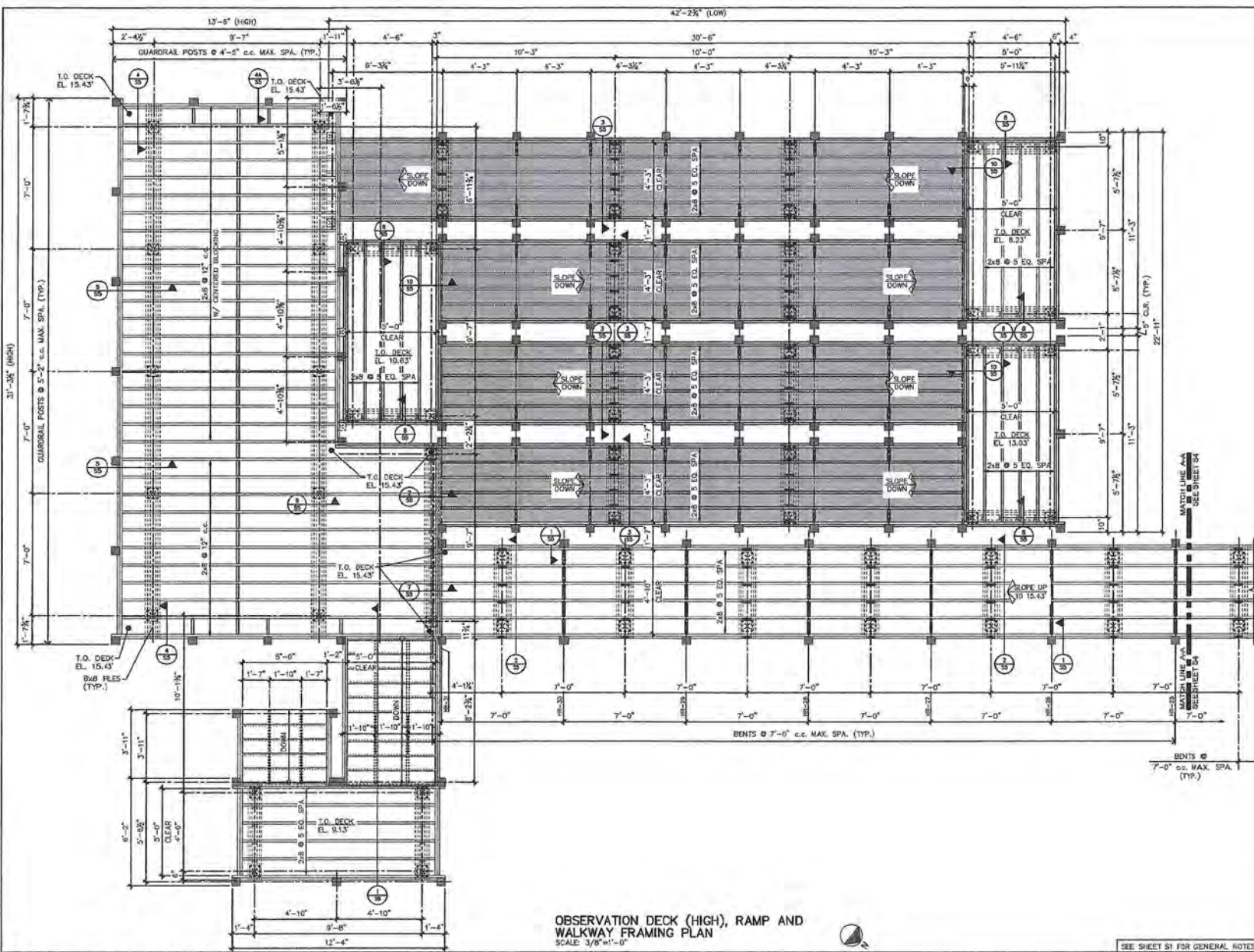


OBSERVATION DECK AND WALKWAY MITIGATION PLAN
SCALE: 1/16"=1'-0"



ELEVATION
SCALE: 1/16"=1'-0"

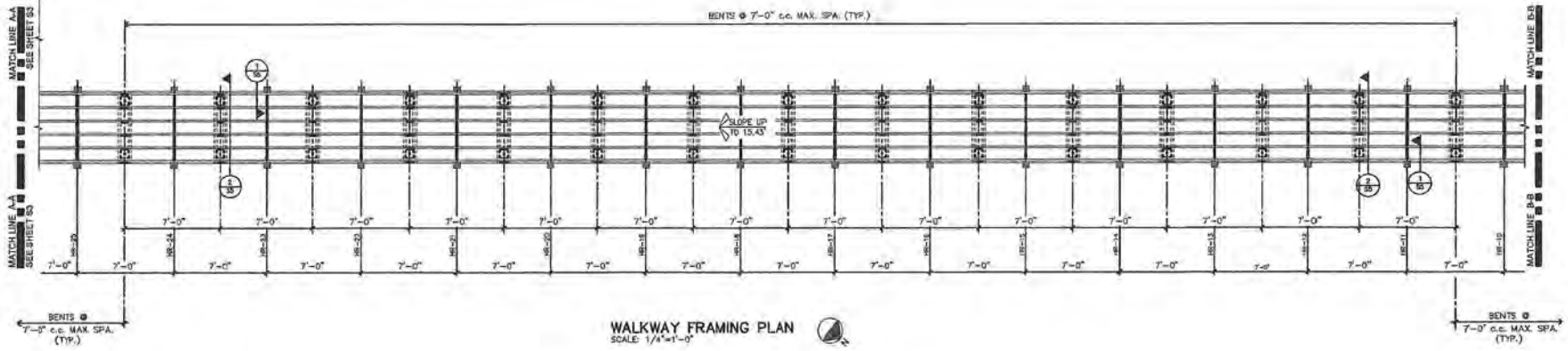
NO.	DATE	APP.
PALISADE PALMS TWBC CONDO ASSOCIATION 801 E BEACH DR. GALVESTON, TEXAS 77550		
EXTENSION OF EXISTING WALKOVER BRIDGE GALVESTON, TEXAS		
MITIGATION PLAN		
SH STANLEY SPURLING & HAMILTON, INC. Consulting Engineering Services <small>T.B.P.E. Registration # F-000175 www.sashinc.net</small>		
<small>3301 Edloe Street, Suite 200 Houston, Texas 77027 Tel 713-776-9433</small>		
SCALE: AS NOTED	DGN. BY: LAH	
DATE: 01- -25	DWN. BY: KD	
JOB NO. 1521-0001A	DWG. NO.	
		SHEET NO. M1 1 OF 1
Feb 03, 2025		



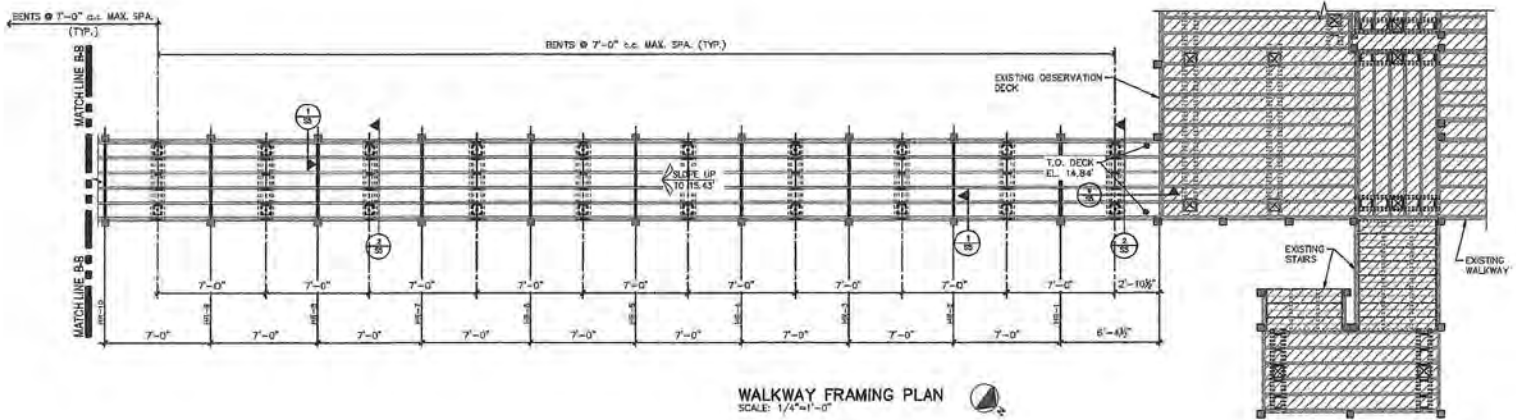
OBSERVATION DECK (HIGH), RAMP AND WALKWAY FRAMING PLAN
SCALE: 3/8"=1'-0"

SEE SHEET S1 FOR GENERAL NOTES.

NO.	DATE	APP.
PAUSADE PALMS TWBC CONDO ASSOCIATION 801 E BEACH DR. GALVESTON, TEXAS 77550		
EXTENSION OF EXISTING WALKOVER BRIDGE GALVESTON, TEXAS		
OBSERVATION DECK (HIGH), RAMP AND WALKWAY FRAMING PLAN		
 STANLEY SPURLING & HAMILTON, INC. Consulting Engineering Services 1381 Eldon Street, Suite 200, Galveston, Texas 77550 409.779.9233		
SCALE: AS NOTED	DATE: 11-07-2024	JOB NO. 24-001
DWG. BY: JAH	DRAWN BY: JAS	P. NO. NO.
		
SHEET NO. S3		4 OF 7



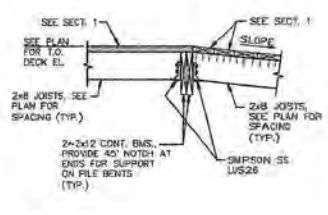
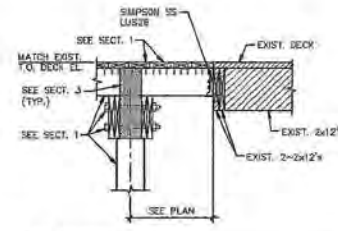
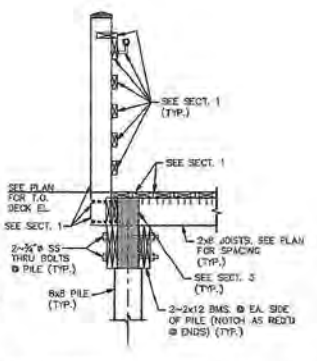
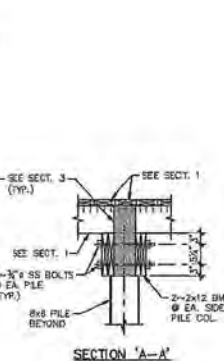
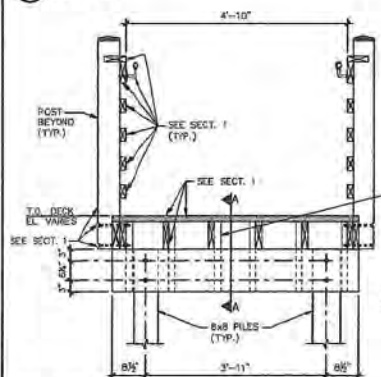
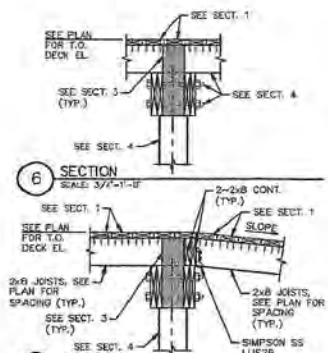
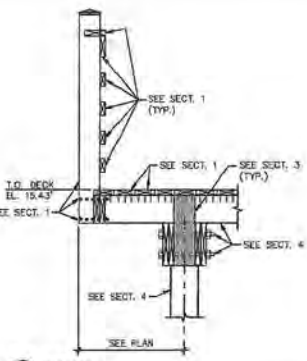
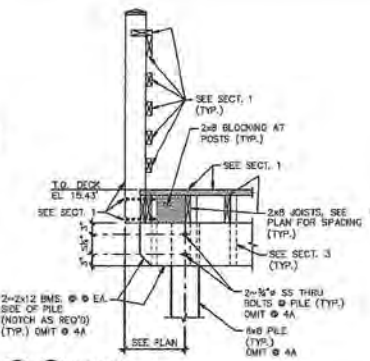
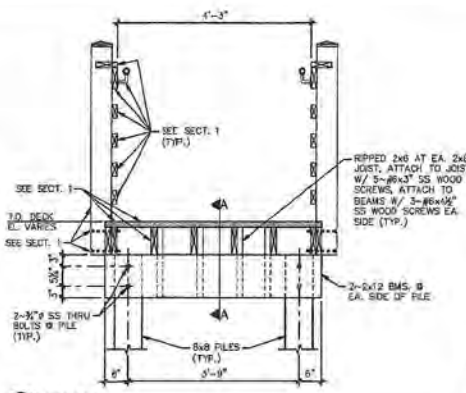
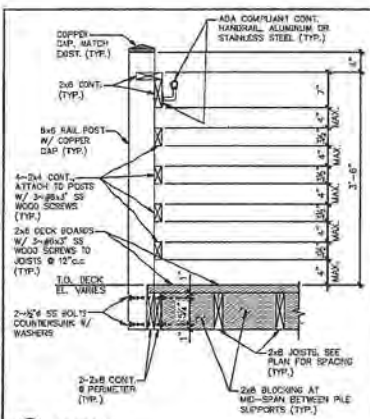
WALKWAY FRAMING PLAN
SCALE: 1/4"=1'-0"



WALKWAY FRAMING PLAN
SCALE: 1/4"=1'-0"

NO.	DATE	BY	APP.
PALISADE PALMS TWBC CONDO ASSOCIATION 801 E BEACH DR. GALVESTON, TEXAS 77586			
EXTENSION OF EXISTING WALKOVER BRIDGE GALVESTON, TEXAS			
WALKWAY FRAMING PLANS			
STANLEY SPURLING & HAMILTON, INC. Consulting Engineering Services 1301 Edison Street, Suite 200 • Galveston, Texas 77550 • Tel: 409/765-9333			
SCALE:	AS SHOWN	DRN. BY:	JAH
DATE:	11-07-1024	CHK. BY:	JG
JOB NO.:	172-050	TRG. NO.:	
			SHEET NO. S4 8 OF 7

SEE SHEET S1 FOR GENERAL NOTES



NO.	DATE	APP.
PALISADE PALMS TWBC CONDO ASSOCIATION		
801 E SEACH DR.		
GALVESTON, TEXAS 77550		
EXTENSION OF EXISTING WALKOVER BRIDGE		
GALVESTON, TEXAS		
FRAMING SECTIONS		
STANLEY SPURLING & HAMILTON, INC.		
Consulting Engineering Services		
1342 Seagraves Highway		
Galveston, Texas 77550		
Tel: 409/761-1111 Fax: 409/761-1112		
SCALE: AS NOTED	DATE: 11-07-2024	DATE: JAN
DATE: 11-07-2024	JOB NO. 23-000	DRAWN BY: JA
SHEET NO. S5		
6 OF 7		

SEE SHEET S1 FOR GENERAL NOTES.

C.1 – Mitigation Plan

D – Site Photos













S.O.S.
SAVE OUR SHORES

ITEMS LEFT ON THE BEACH OVERNIGHT WILL BE REMOVED

REDUCE
USE REUSABLE PRODUCTS

REMOVE
DON'T LITTER

RECYCLE
RECYCLE PLASTIC AND METAL

OUR BEACHES & MARINE LIFE THANK YOU!

GA.VETTONSACHINFO.COM















24BF-137

STAFF REPORT

ADDRESS:

11395 BEACHSIDE DR
GALVESTON, TX 77554

LEGAL DESCRIPTION:

The property is legally described as Beachside Village Section 4 (2016) Abstract 121, Lot 430, Acres 0.3488, a subdivision in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Egret Bay Builders, LLC –
Dana Lee

PROPERTY OWNER:

Ignacio and Camila Cubero

REQUEST:

Beachfront Construction Certificate/Dune Protection Permit in order to construct a large-scale single-family residence with unreinforced fibercrete for driveway and slab

APPLICABLE LAND USE

REGULATIONS:

Chapter 29, Article 2, Beach Access Dune Protection and Beachfront Construction Regulation.

STAFF RECOMMENDATION:

Approval with Conditions

EXHIBITS:

- A – Aerial Map
- B – Topographic Survey
- C – Site Plan & Drawings
- D – Site Photos
- E – GLO Comment Letter

STAFF:

Kyle Clark
Coastal Resources Manager
KClark@GalvestonTX.gov



Note: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases. Therefore, the information presented on this map is for informational purposes only and should not be construed to be legally binding.

Executive Summary:

The City of Galveston's Dune Protection and Beach Access Plan designates the Planning Commission as the authority to review and consider for approval applications for a Beachfront Construction Certificate/Dune Protection Permit when proposed construction activities occur in areas within or seaward of the Dune Conservation Area or up to 50 feet landward of the Dune Protection Line. The Dune Protection Line is the area within 25 feet landward of the North Toe of the Critical Dune Area or within 200 feet landward of the Line of Vegetation for those beach areas where no dunes exist west of the terminus of the Seawall.

The applicant is requesting approval to construct a large-scale single-family residence with unreinforced fibercrete for driveway and slab. The proposed construction of the large-scale single-family dwelling is approximately 26 feet from the North Toe of the Critical Dune Area, 78.74 feet from the Line of Vegetation. This is landward of the Dune Protection Line and within the Planning Commission review area. According to the application materials, the proposed construction activities appear to be landward of dunes and dune vegetation. Therefore, mitigation activities are not proposed.

Site and Surrounding Area:

The subject site is located in Beachside Village Section 4. Single-family dwellings are located to the North, East, and West; a beach and dune system are located to the South of the subject property. According to the Bureau of Economic Geology, this area is eroding.

Analysis:

The table below summarizes the applicant survey and site plan (Attachments B and C). The attachments indicate the proposed new construction and the location of proposed construction in relation to on-site conditions:

Proposed Structure’s Distance from:	Distance (Feet)
...North Toe of the Dune	26
...the Line of Vegetation	78.74

In accordance with Chapter 29: Planning – Beach Access Dune Protection & Beach Front Construction, before issuing a permit, the Planning Commission must find that the proposed construction conforms with the Beachfront Construction Certificate and Dune Protection Permit standards.

- The proposed activity is not a prohibited activity as defined in these standards.
- The proposed activity will not materially weaken dunes or materially damage dune vegetation seaward of the Dune Protection Line based on substantive findings as defined in "Technical Standards" of these standards.
- There are no practicable alternatives to the proposed activity that is located seaward of the Dune Protection Line and adverse effects cannot be avoided as provided in the Mitigation sequence as outlined in these Standards.
- The applicant's mitigation plan, for an activity seaward of the Dune Protection Line, which is not required, will adequately minimize, rectify, and/or compensate for any unavoidable adverse effects.
- The proposed activity complies with any applicable requirements of: Requirements for Beachfront Construction Certificate and Dune Protection Permits and Management of the Public Beach of this Section; and
- The structure is located as far landward as practicable.

Staff Recommendation:

Staff recommends approval of 24BF-137 with the following conditions:

Conditions for Case 24BF-137:

1. The applicant must adhere to all aspects of Chapter 29: Planning-Beach Access Dune Protection & Beachfront Construction of the City of Galveston Code of Ordinances.
2. The applicant must adhere to all aspects of the Texas Administrative Code Title 31. Natural Resources and Conservation, Part 1. General Land Office, Chapter §15. Coastal Area Planning, including but not limited to those outlined in the GLO Comment Letter associated with this Beachfront Construction Certificate and Dune Protection Permit.
3. The construction activities must minimize impacts on natural hydrology and must not cause erosion of adjacent properties. The applicant shall direct all stormwater inland away from the critical dune area, public beach, and adjacent properties.
4. Where applicable, the proposed construction must be consistent with FEMA minimum requirements or with the FEMA approved local ordinance.

ERP PRACTICABLE DEFINITION

Practicable means available and capable of being done after taking into consideration existing building practices, siting alternatives, and the footprint of the structure in relation to the area of the building portion of the lot, and considering the overall development plan for the property.

TEXAS ADMINISTRATIVE CODE PRACTICABLE DEFINITION 15.2(57)

In determining what is practicable, local governments shall consider the effectiveness, scientific feasibility, and commercial availability of the technology or technique. Local governments shall also consider the cost of the technology or technique.

Respectfully Submitted,



Kyle Clark
Coastal Resources Manager

2/25/2025



Catherine Gorman, AICP
Assistant Planning Director / HPO

02/25/2025
Date

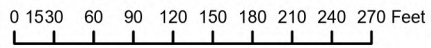
A – Aerial Map

**11395 Beachside Drive
Case #24BF-137**

**BEG and FIRM Coastal Map
Legend**

**BEG Shoreline Change Rates
1950s-2019 - End Point Rate (ft/yr)**

- ▲ Eroding (-1ft or more)
- ◆ Stable (-1ft to 1 ft)
- ▼ Accreting (+1ft or more)
- FIRM Panels
- 0.2% Annual Chance
- Zone A
- Zone AE, Zone AO
- Zone VE
- Zone X
- Open Water
- Subdivisions
- 1000ft from MHT
- Lot Lines
- Parcels



1:1,742

Data Sources:

Aerial Imagery and Parcel Data from Galveston CAD,
Shoreline Change Data from U.T. Bureau of Economic
Geology, Flood Insurance Rate Map from FEMA.

**Map prepared by the City of Galveston Development
Services Department, Coastal Resources Division
(HCummings) - 12/20/2024**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

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B – Topographic Surveys

BEACHSIDE DRIVE (50' R.O.W.)



SCALE: 1" = 40'

LEGEND

- B.L. Building Setback Line
- U.E. Utility Easement
- ## Natural Ground
- EC### Edge of Concrete
- [C] Cable Box
- [E] Electrical Box
- - - Wood Fence

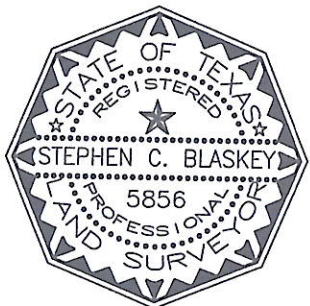
LINE	BEARING	DISTANCE
L1	N 52°45'22" E	71.41'
L2	S 56°12'05" W	75.29'

The Mean High Water Line and the Mean Low Water Line depicted hereon were located on July 17, 2024, and are referenced to the tide gauge located at the Galveston Pleasure Pier (NOAA ID# 8771510). The location of the MHW and MLW were determined by transferring the NOAA determined MHW and MLW elevations that are published for the N.G.S. Monument "WALL" (PID AW0588) to the site using RTK GPS techniques. The elevation used for the N.G.S. Monument "WALL" is 14.11 feet, the elevation used for the Mean High Water is 1.17 feet, and the elevation used for Mean Low Water is -0.30 feet.

Survey of Lot Four Hundred Thirty (430), of BEACHSIDE VILLAGE SECTION FOUR (4), a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in/under Instrument No. 2015068517 and amended under Instrument No. 2016074762, of the Map Records in the Office of the County Clerk of Galveston County, Texas.

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.

Stephen C. Blaskey
 Stephen C. Blaskey
 Registered Professional
 Land Surveyor No. 5856

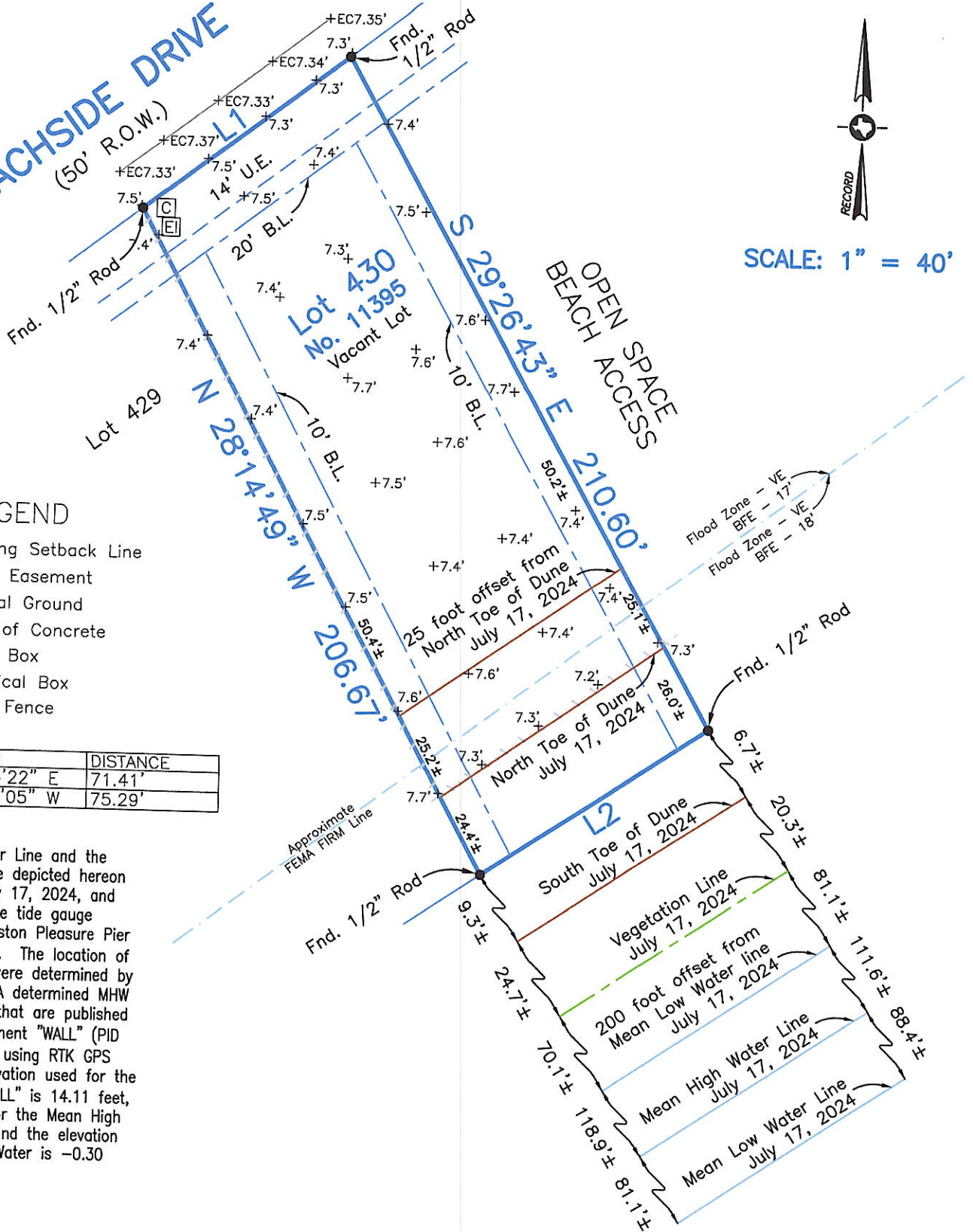


SURVEY DATE:	JULY 17, 2024
FILE No.:	1637-0000-0430-000
DRAFTING:	AM
JOB No.:	24-0325

GALVESTON OFFICE
 Registration Number: 10193855
 (409) 740-1517 www.hightidelandsurveying.com
 8017 HARBORSIDE DRIVE | GALVESTON, TX 77554
 Mailing | P.O. BOX 16142 | GALVESTON, TX 77552

NOTES:

- 1) This property does lie within the 100 Year Flood Plain as established by the Federal Emergency Management Agency.
- 2) This property is subject to any restrictions of record as established by the City, Plat, or Subdivision Covenants and Restrictions; may also be subject to easements and setbacks for utility services and power lines as individually recorded or established by OSHA (call your power company).
- 3) Bearings based on recorded plat.
- 4) Elevations are shown in feet above Mean Sea Level NAVD '88 Datum as tied to NGS Monument HGCSO 62.
- 5) Surveyed without benefit of a Title Report.



C – Site Plans and Drawings

BEACHSIDE DRIVE
Lot 430 No. 11395

Lot 429

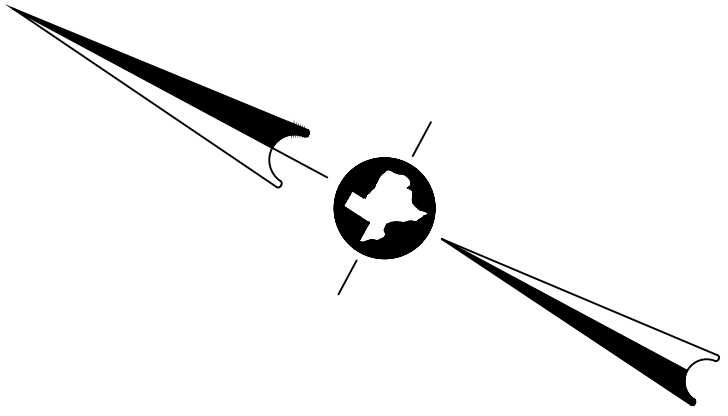
LEGEND

- B.L. Building Setback Line
- U.E. Utility Easement
- ## Natural Ground
- EC### Edge of Concrete
- [C] Cable Box
- [E] Electrical Box
- Wood Fence

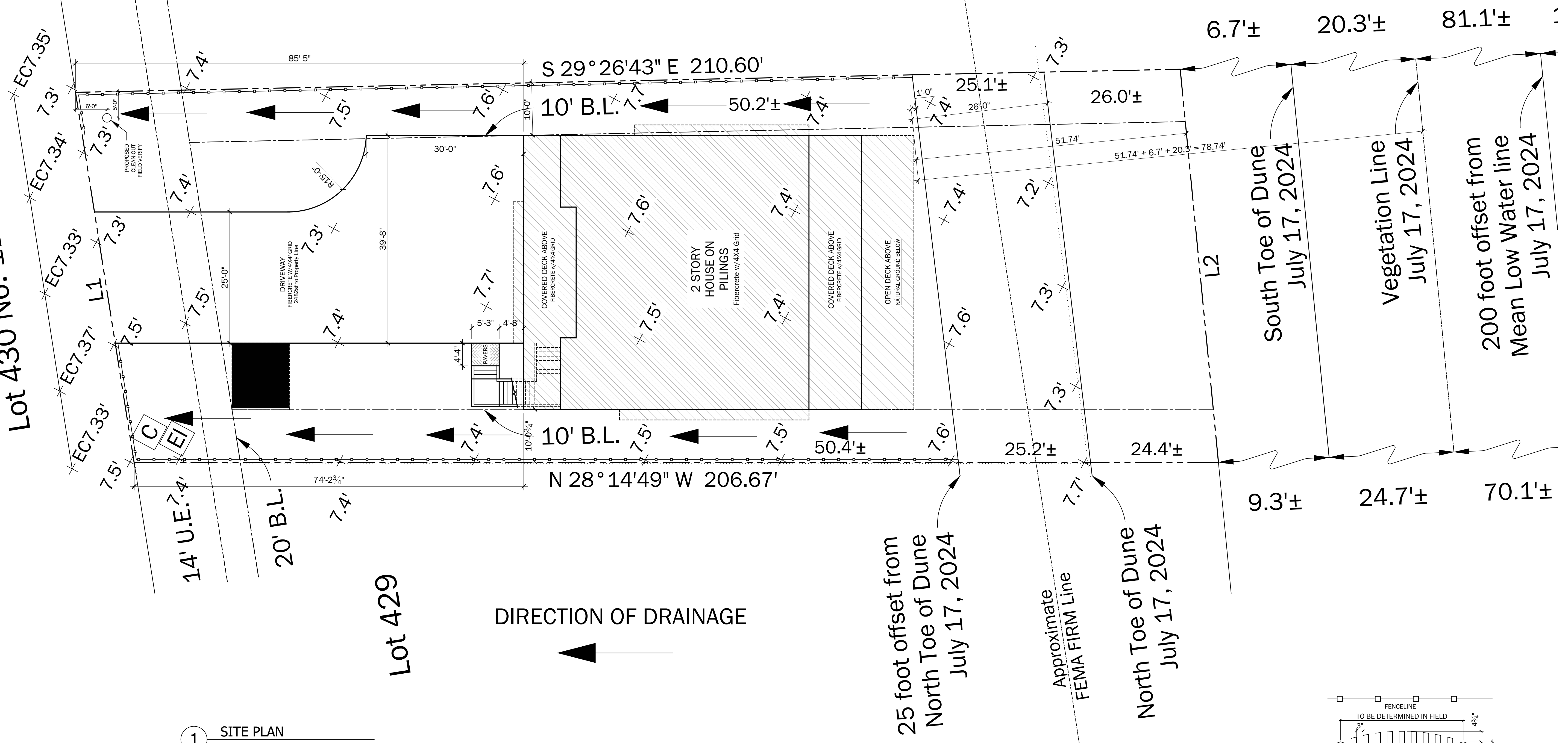
LINE	BEARING	DISTANCE
L1	N 52° 45' 22" E	71.41'
L2	S 56° 12' 05" W	75.29'

NOTE:
VERIFY HOUSE PLACEMENT
WITH SURVEYOR

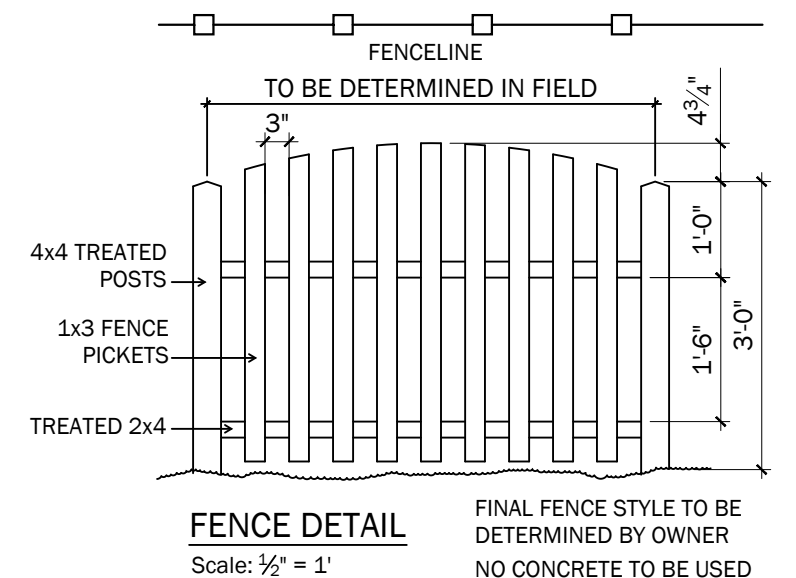
Note:
 No fill shall be brought to site, no changes shall be made to existing grading or drainage plan (as built), and there shall be no drainage impact to neighborhood properties. Contractor/builder shall be 100% liable for deviation from these requirements based on City Inspection.



OPEN SPACE
 BEACH ACCESS



1 SITE PLAN
 Scale: 1" = 10'



TITLE		
FINAL SET D - 01/22/25		
FILE NAME		
Cubero Final - 01-22-25		
NO.	REVISION/ISSUE	DATE
1	Galv. Coastal Updates	12/17
2	REMOVE ELEVATED SLAB	01/22/25
3		
4		
5		
6		

Culwell Designs
 Galveston, TX - 713-213-9804
 e-mail: culwelldesigns@att.net

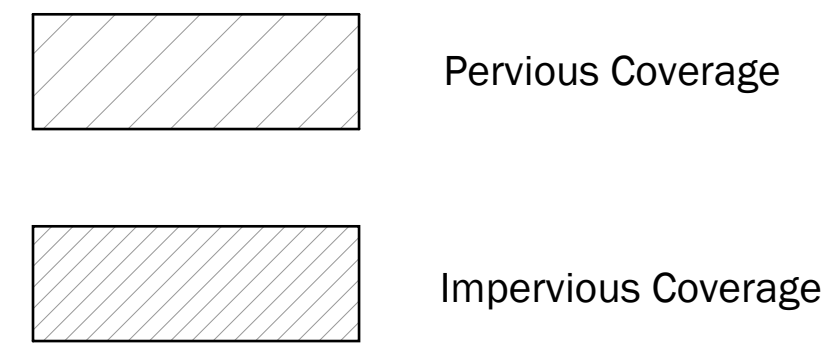
Square Footage	
1st Floor:	2537
2nd Floor:	2319
3rd Floor:	n/a
Total Living SF:	4856
Grnd Floor Enclosed	298
Decks Incl A/C Deck:	2390
Slab:	3364

PROJECT NAME AND ADDRESS
 Proposed Beach House for
The Cubero Family
 11395 Beachside Drive - Lot 430
 Beachside Village
 Galveston, TX 77554

Copyright © 2025
 To the best of our knowledge, these plans, drawings and specifications are designed to comply with the owner's wishes and criteria. Any changes made to these drawings after final prints are made, will be at the sole expense of the owner/contractor.
 The owner/contractor will be responsible for verification of all dimensions, details and specifications.
 Culwell Designs, their employees, or subcontract labor personnel will not be liable for any human error after construction has been started.
 No warranties are given or implied as to the completeness or accuracy of these plans. All structural and foundation design is to be checked, verified and stamped by a licensed engineer. Windstorm Certified if applicable.
 These plans are the sole property of Culwell Designs and are for the sole use on a specific project and may not be used on any other project without written permission from Culwell Designs.

DRAWN BY		SHEET	
S. CULWELL		A2	
DATE		01/22/25	
SCALE		SHOWN	
		of 22	

BEACHSIDE DRIVE
Lot 430 No. 11395

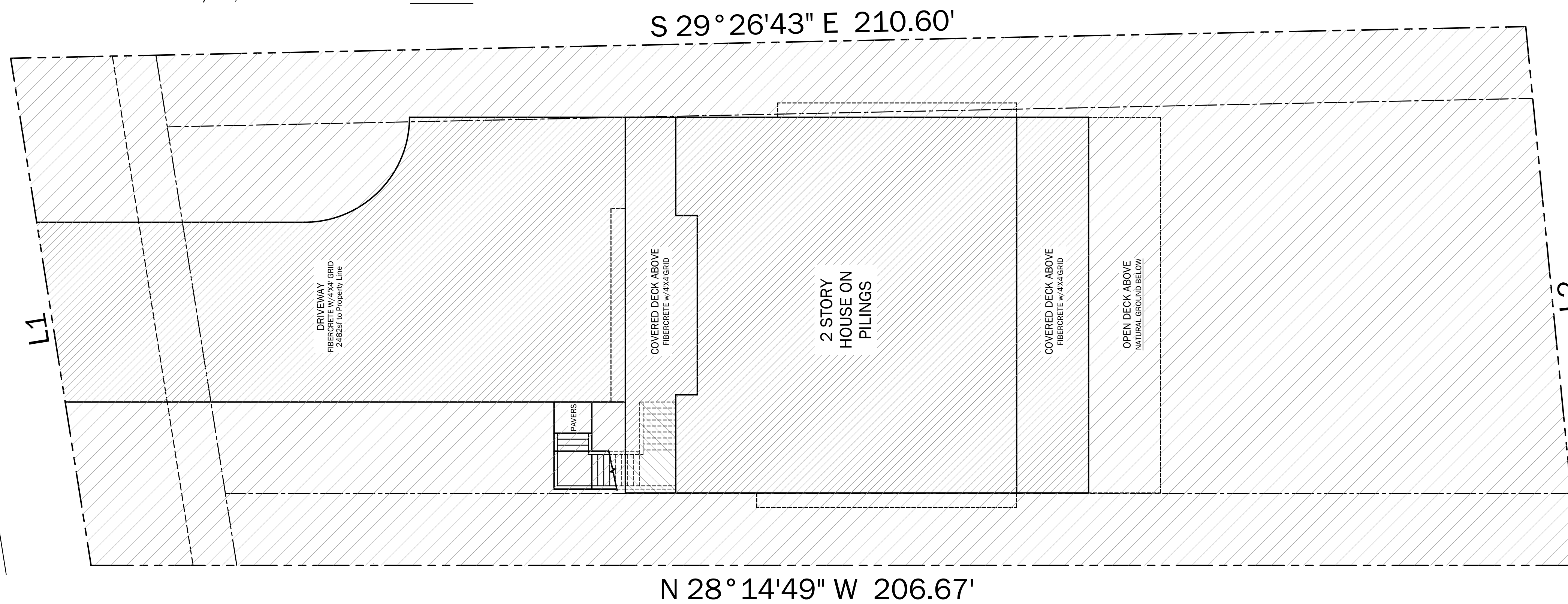
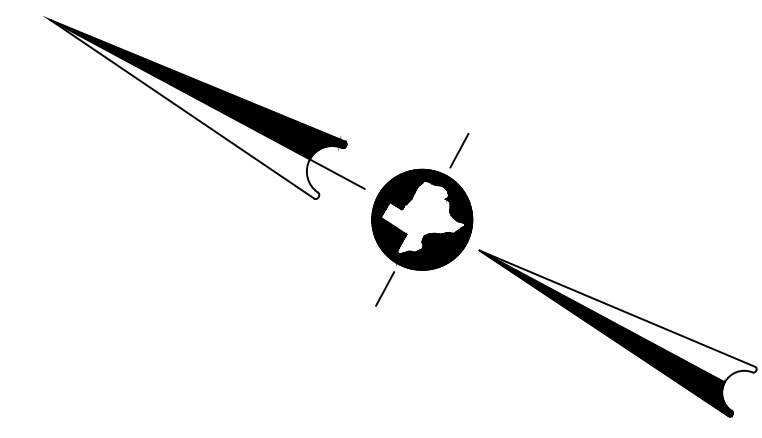


Lot Size ft² = 15,193.85 ft²

Impervious Coverage ft² = 5845.17 ft²
Includes Slab and Driveway

$5845.17 / 15,193.85 = .3847 \times 100 = \underline{38.47\%}$

LINE	BEARING	DISTANCE
L1	N 52° 45' 22" E	71.41'
L2	S 56° 12' 05" W	75.29'



1 PERVIOUS/IMPERVIOUS GROUND COVER Scale: 1" = 10'

TITLE		
FINAL SET D - 01/22/25		
FILE NAME		
Cubero Final - 01-22-25		
NO.	REVISION/ISSUE	DATE
1	Galv. Coastal Updates	12/17
2	REMOVE ELEVATED SLAB	01/22/25
3		
4		
5		
6		

Culwell Designs
Galveston, TX - 713-213-9804
e-mail: culwelldesigns@att.net

Square Footage	
1st Floor:	2537
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DRAWN BY S. CULWELL	SHEET
DATE 01/22/25	A22
SCALE SHOWN	of 22

NOTE:
CULWELL DESIGNS DOES NOT ENGINEER THE STRUCTURE.

THE BUILDER SHOULD CONSULT AN ENGINEER TO VERIFY STRINGER AND JOIST SIZES, SPACING, LOCATIONS AND REINFORCING AS WELL AS PILING LOCATIONS, TYPE, SIZES AND DEPTHS.

SLAB DETAILS AND NOTES TO BE VERIFIED BY ENGINEER.

ALL STRUCTURAL NOTES AND DRAWINGS ARE TO BE CHECKED, VERIFIED AND STAMPED BY A LICENSED ENGINEER.

STRUCTURAL DESIGN DRAWINGS AND NOTES ARE DONE TO ASSIST THE ENGINEER, CULWELL DESIGNS ASSUMES NO LIABILITY FOR STRUCTURAL DESIGN.

SLAB NOTE:

THE BUILDER IS TO CONSULT AN ENGINEER FOR SPECIFIC SLAB AND GRADE BEAM SIZES, LOCATION AND REINFORCING.

STRUCTURAL DRAWINGS AND NOTES PROVIDED TO ASSIST THE ENGINEER.

CULWELL DESIGNS DOES NOT ENGINEER THE STRUCTURE AND ASSUMES NO LIABILITY FOR FOUNDATION DESIGN.

PILING NOTE:

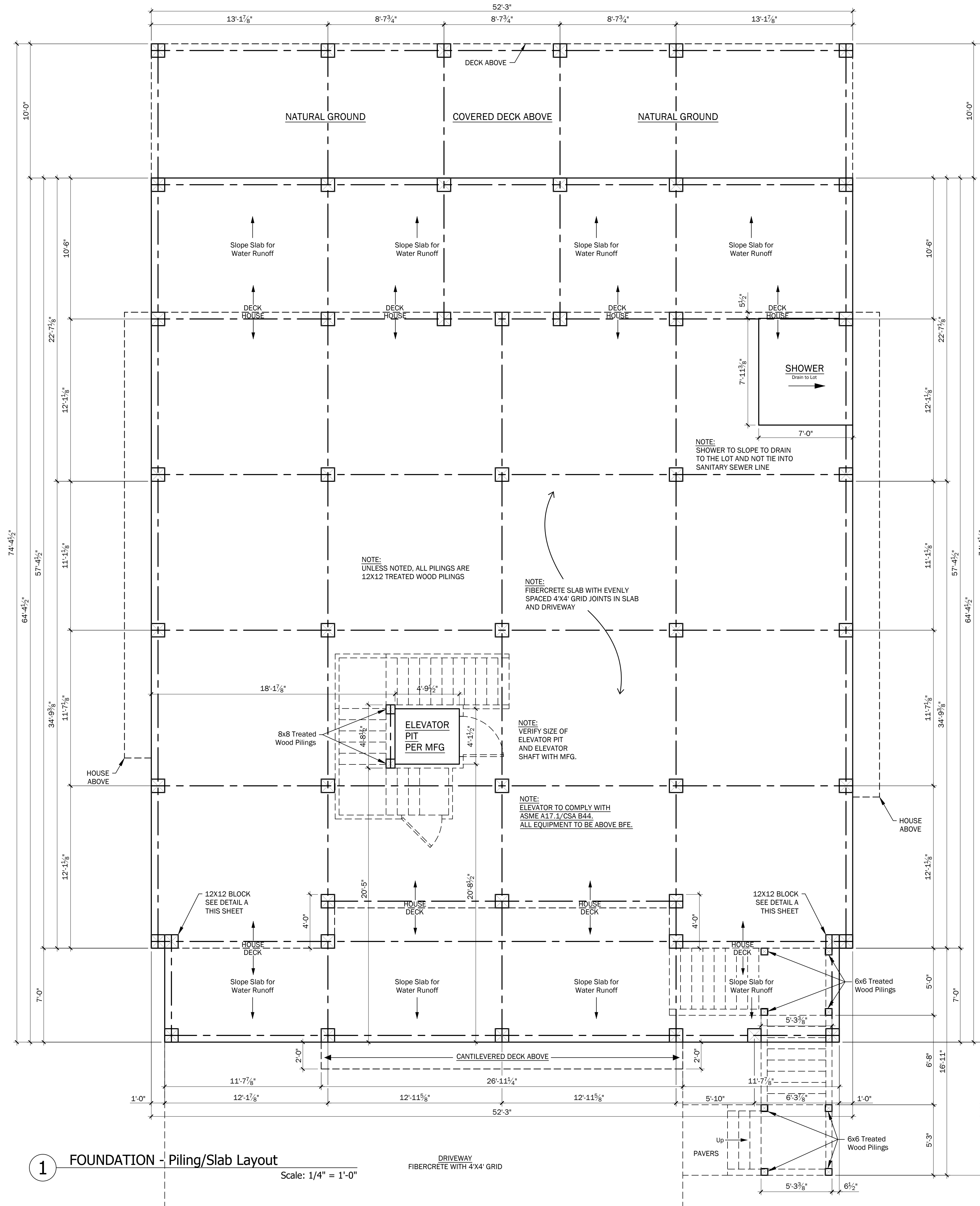
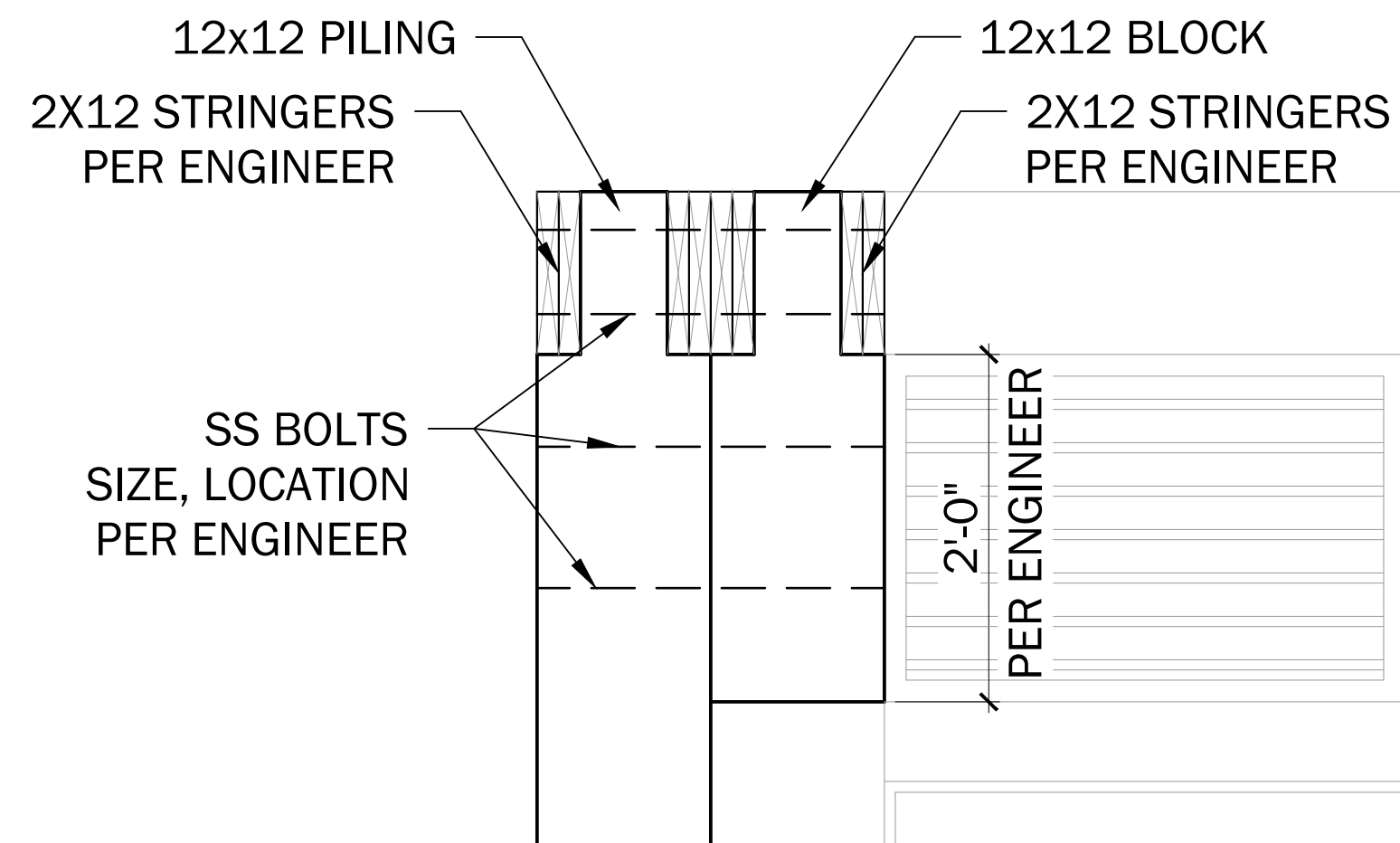
THE BUILDER IS TO CONSULT AN ENGINEER TO VERIFY PILING SIZE, LOCATIONS, SPACING AND DEPTHS.

STRUCTURAL DRAWINGS AND NOTES PROVIDED TO ASSIST THE ENGINEER.

CULWELL DESIGNS DOES NOT ENGINEER THE STRUCTURE AND ASSUMES NO LIABILITY FOR FOUNDATION DESIGN.

2 DETAIL A - FRONT VIEW

Scale: 1" = 1'-0"



1 FOUNDATION - Piling/Slab Layout

Scale: 1/4" = 1'-0"

DRIVEWAY
FIBERCRETE WITH 4'X4' GRID

TITLE FINAL SET D - 01/22/25		
FILE NAME Cubero Final - 01-22-25		
NO.	REVISION/ISSUE	DATE
1	Galv. Coastal Updates	12/17
2	REMOVE ELEVATED SLAB	01/22/25
3		
4		
5		
6		

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Galveston, TX - 713-213-9804
e-mail: culwelldesigns@att.net

Square Footage

1st Floor:	2537
2nd Floor:	2319
3rd Floor:	n/a
Total Living SF:	4856
Grnd Floor Enclosed	298
Decks Incl A/C Deck:	2390
Slab:	3364

PROJECT NAME AND ADDRESS
Proposed Beach House for
The Cubero Family
11395 Beachside Drive - Lot 430
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Galveston, TX 77554

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DRAWN BY S. CULWELL	SHEET
DATE 01/22/25	A3
SCALE SHOWN	of 22

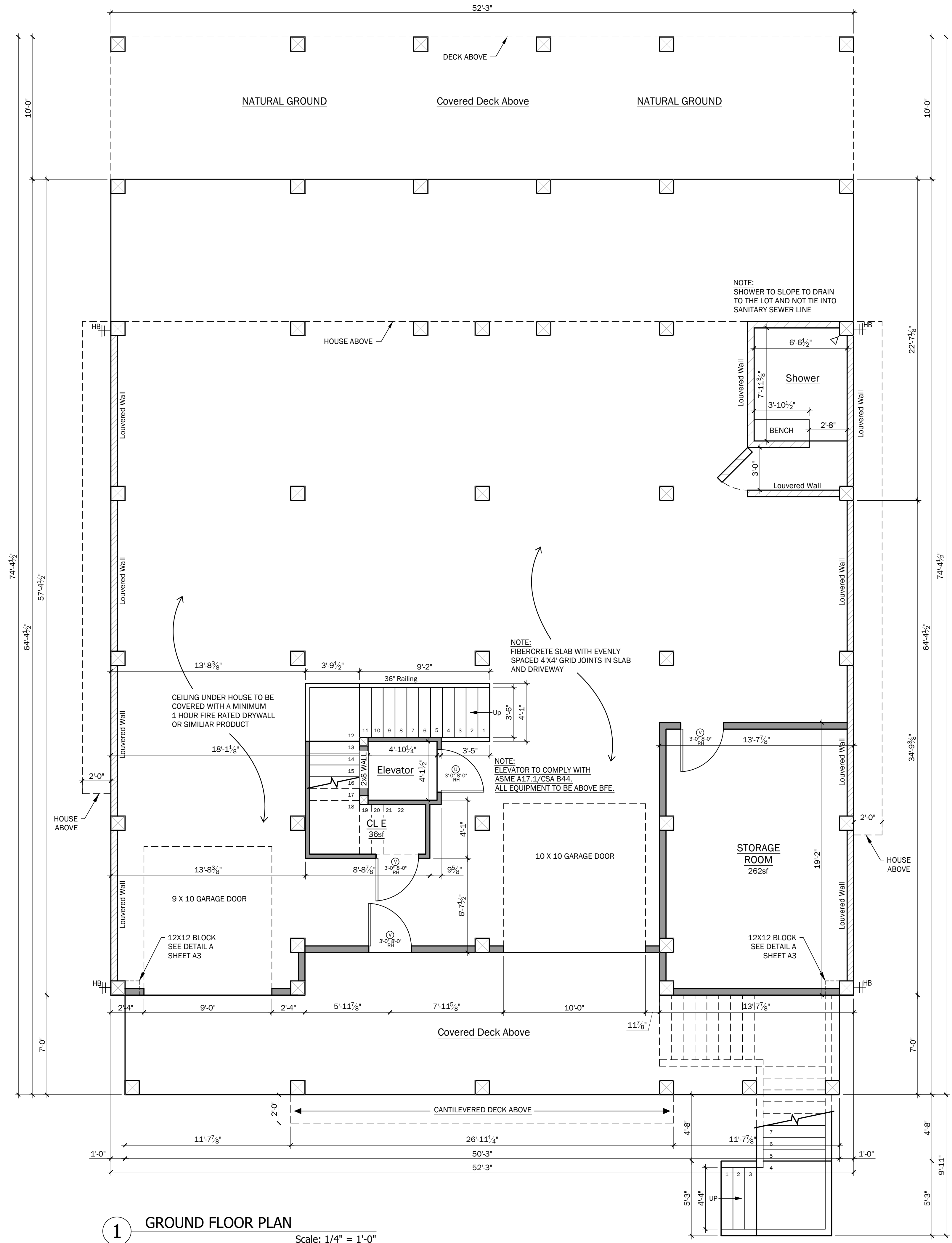
Wall Legend

- Louvered Wall - Typical
- Louvered Wall - 8' Tall
- 2x Framed Wall - Typical

All Ground Floor Walls to be Engineered Break-Away

Plumbing Legend

- HOSE BIBB



Note:
 Stair Calculations as Follows:
 Ground to 1st Floor:
 Slab to Bottom of Stringer is 12' = 144"
 2x12 Stringers and 2x12 Floor Joists = 22½"
 1½" Subfloor Decking = 1½"
 Total = 167¾"
 Divided by 22 Steps, Riser Ht. = 7¾"
 Tread Run Framing Depth = 10"
 1st Floor to 2nd Floor:
 1st Floor Plate Height is 12' = 144"
 Truss Depth (Engineer to Verify) = 24"
 1½" Subfloor Decking = 1½"
 Total = 169¾"
 Divided by 23 Steps, Riser Ht. = 7¾"
 Tread Run Framing Depth = 10"
 Riser Heights are Rounded to the Nearest ¼"
 Field Verify these Heights and Calculations
 If Re-calculated, Riser Ht. not to Exceed 7¾"

1 GROUND FLOOR PLAN
 Scale: 1/4" = 1'-0"

TITLE FINAL SET D - 01/22/25		
FILE NAME Cubero Final - 01-22-25		
NO.	REVISION/ISSUE	DATE
1	Galv. Coastal Updates	12/17
2	REMOVE ELEVATED SLAB	01/22/25
3		
4		
5		
6		

Culwell Designs
 Galveston, TX - 713-213-9804
 e-mail: culwelldesigns@att.net

Square Footage	
1st Floor:	2537
2nd Floor:	2319
3rd Floor:	n/a
Total Living SF:	4856
Grnd Floor Enclosed	298
Decks Incl A/C Deck:	2390
Slab:	3364

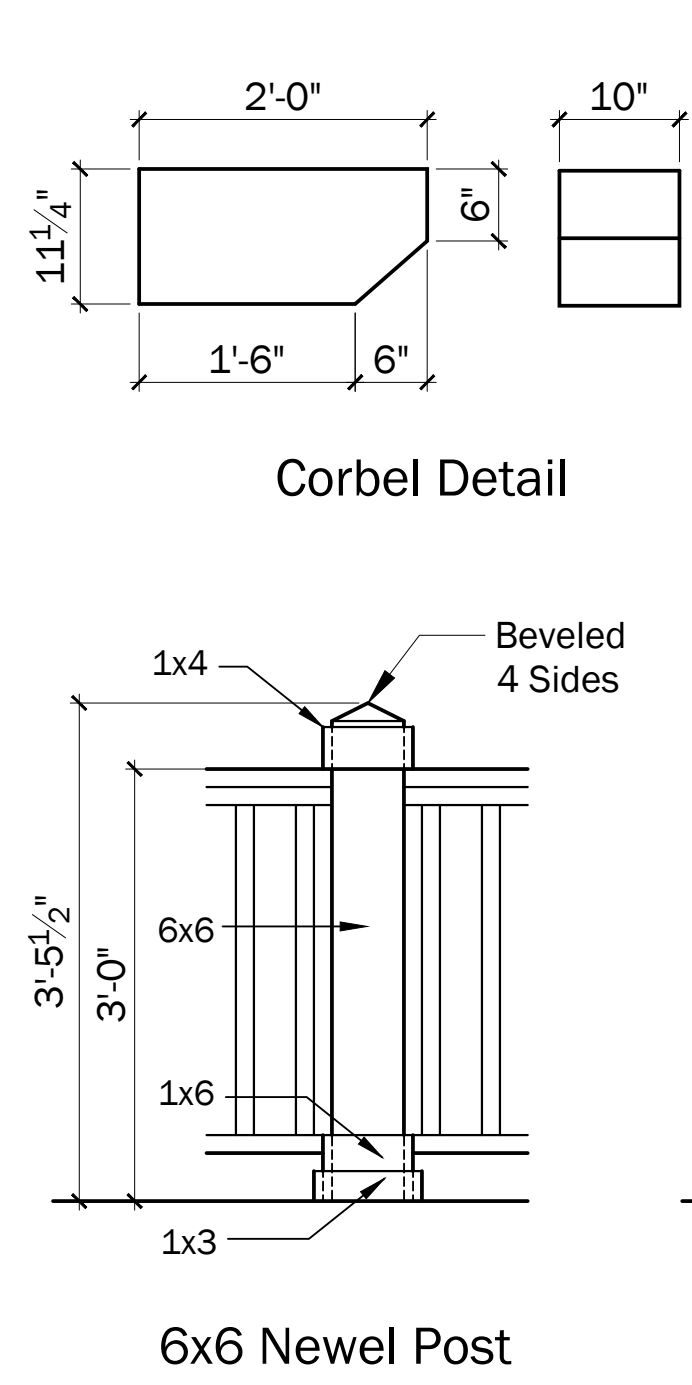
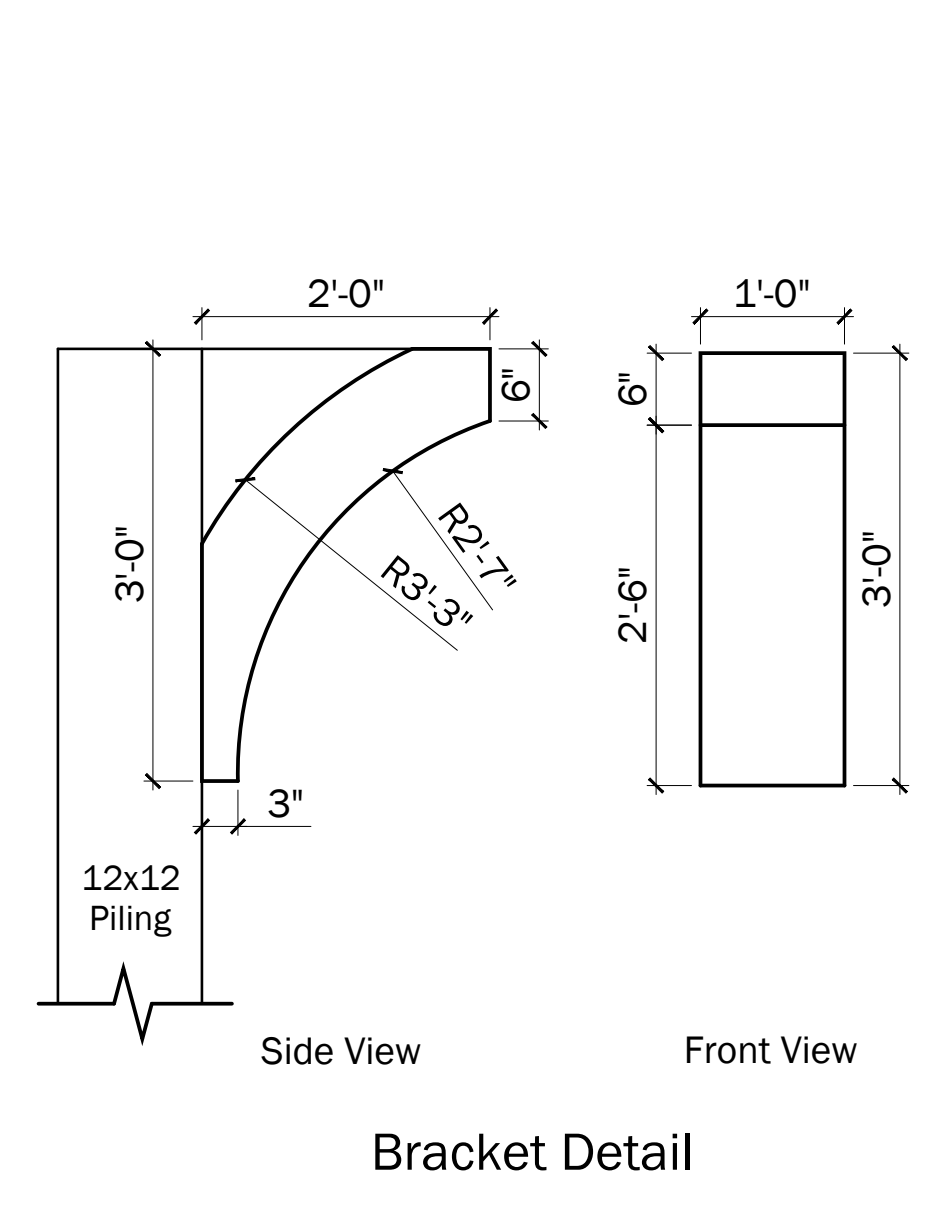
PROJECT NAME AND ADDRESS
 Proposed Beach House for
The Cubero Family
 11395 Beachside Drive - Lot 430
 Beachside Village
 Galveston, TX 77554

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 To the best of our knowledge, these plans, drawings and specifications are designed to comply with the owner's wishes and criteria. Any changes made to these drawings after final prints are made, will be at the sole expense of the owner/contractor.
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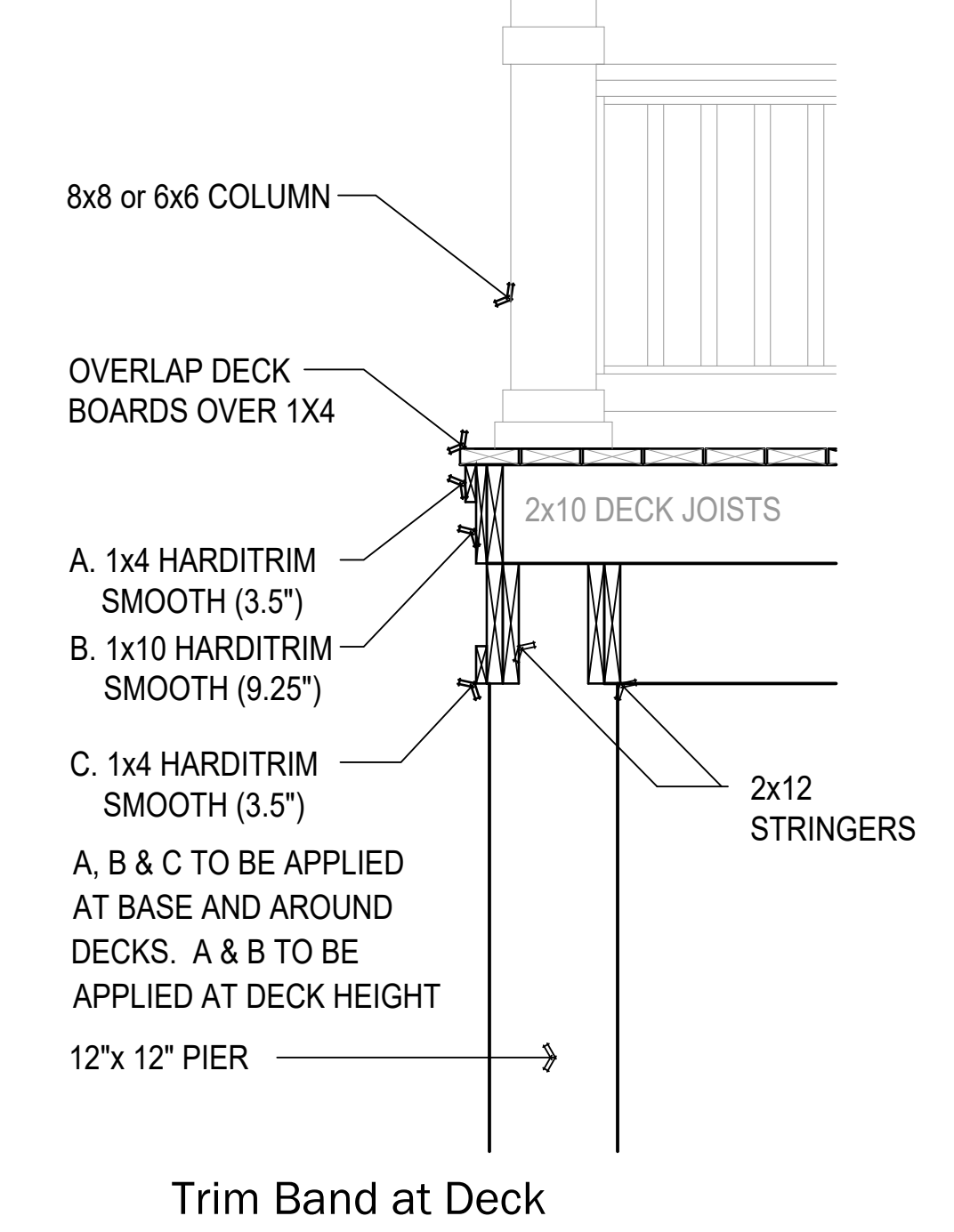
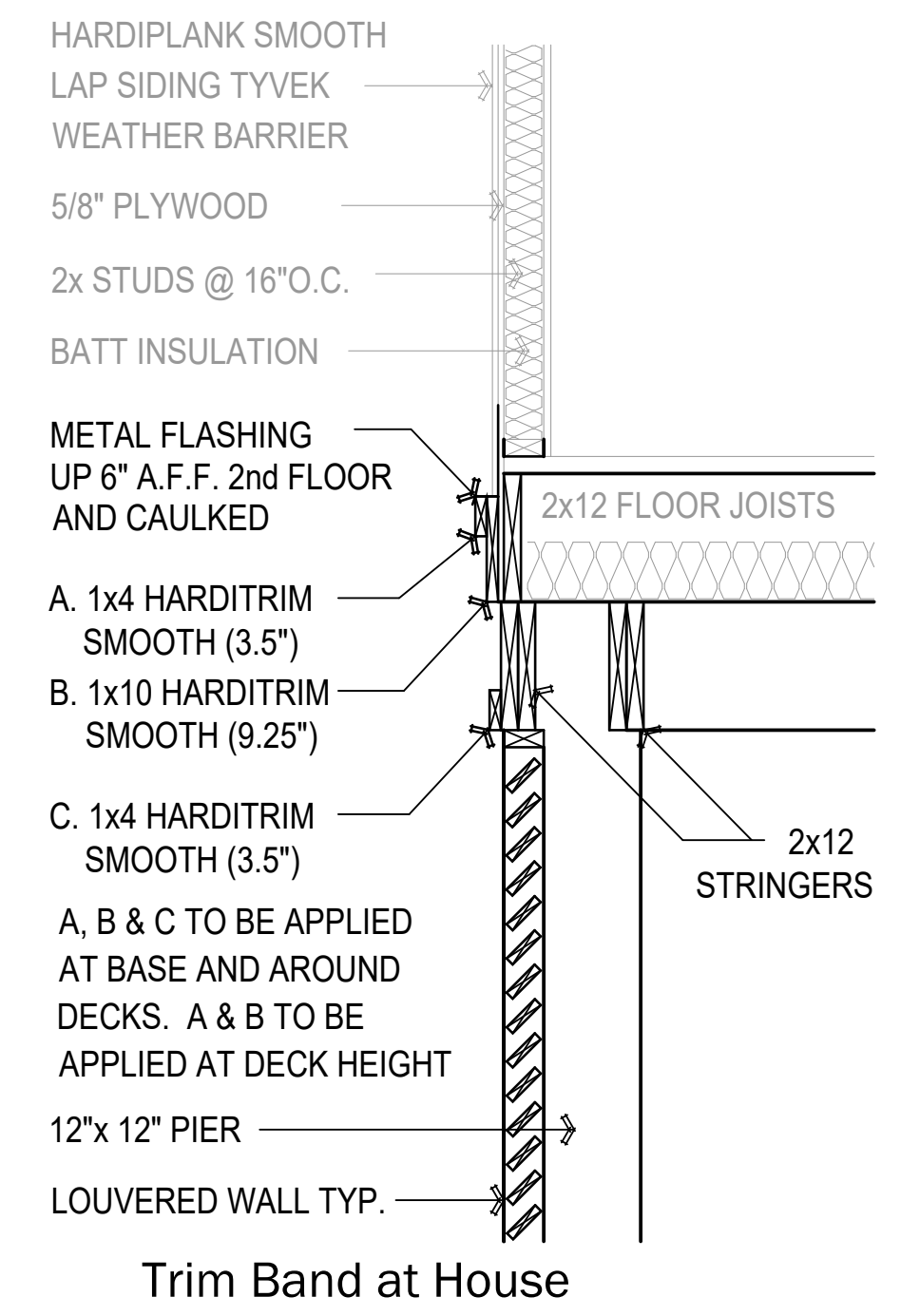
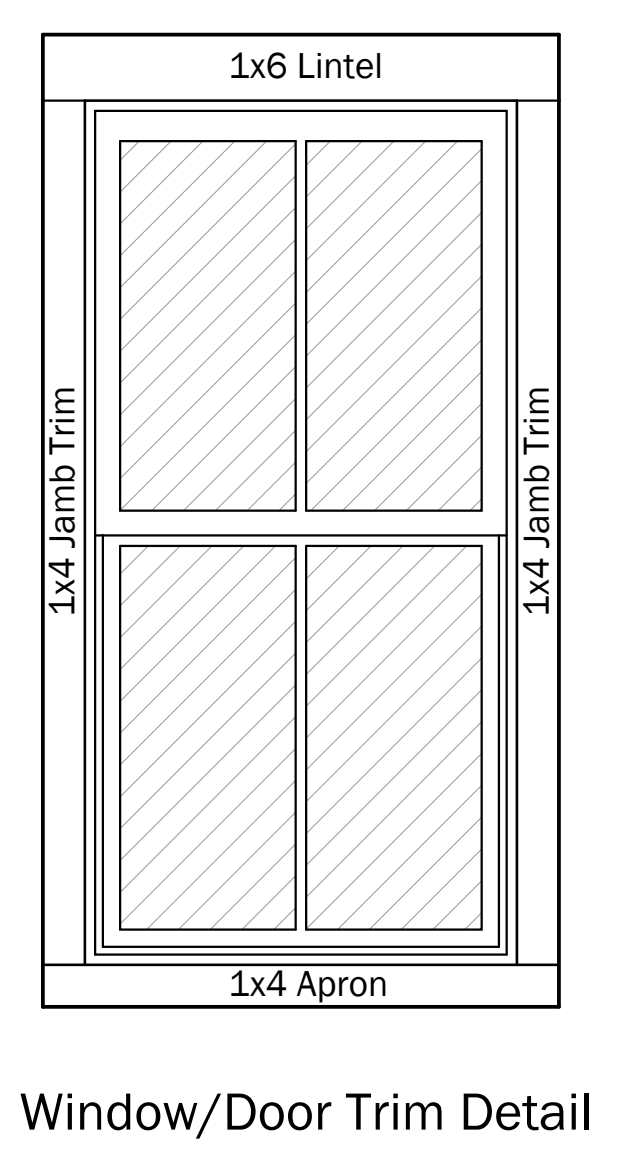
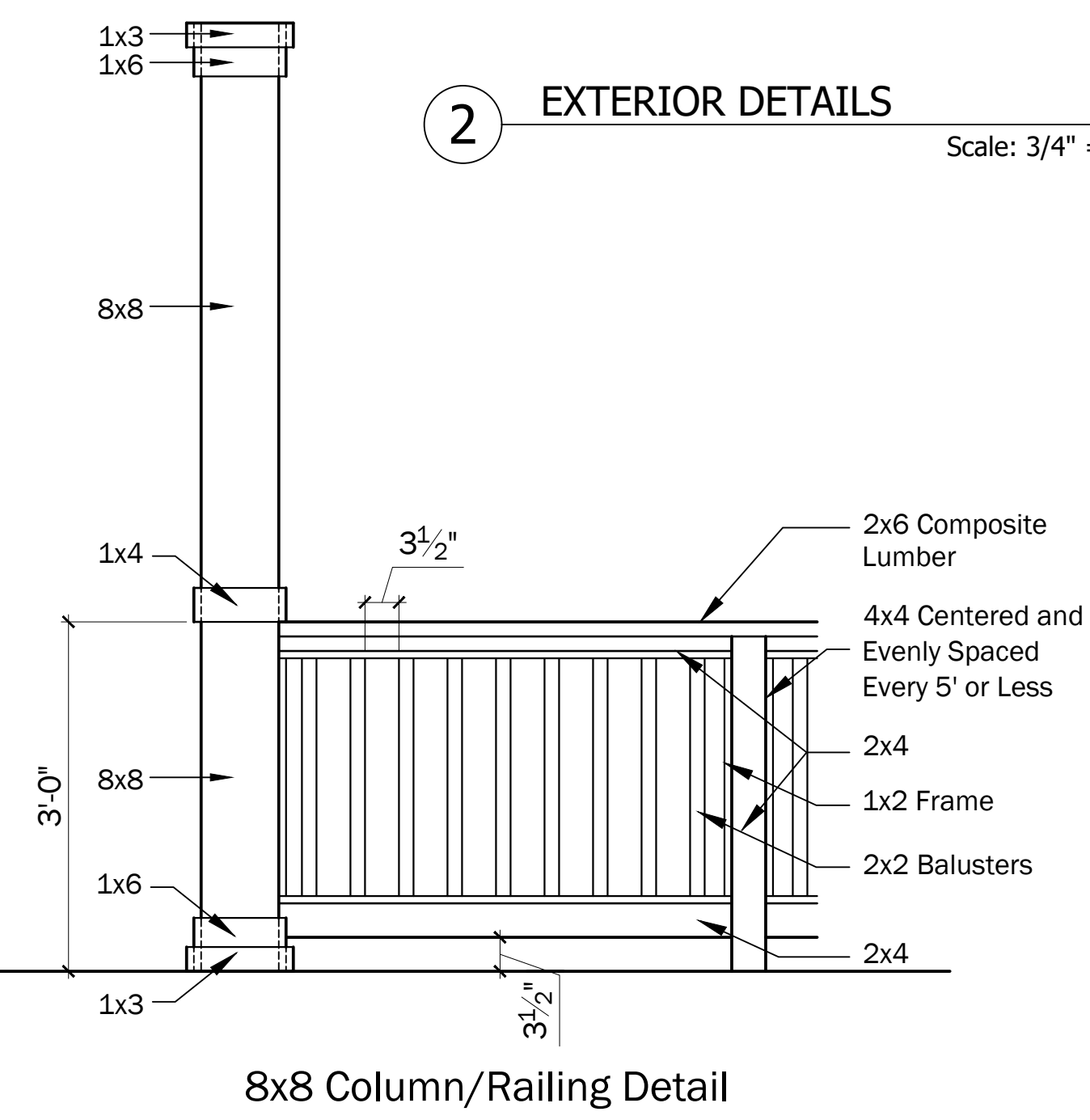
DRAWN BY S. CULWELL	SHEET
DATE 01/22/25	A5
SCALE SHOWN	of 22



1 FRONT ELEVATION Scale: 1/4" = 1'-0"



2 EXTERIOR DETAILS Scale: 3/4" = 1'-0"



TITLE		
FINAL SET D - 01/22/25		
FILE NAME		
Cubero Final - 01-22-25		
NO.	REVISION/ISSUE	DATE
1	Galv. Coastal Updates	12/17
2	REMOVE ELEVATED SLAB	01/22/25
3		
4		
5		
6		

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DRAWN BY	SHEET
S. CULWELL	A13
DATE	01/22/25
SCALE	SHOWN of 22

Note:
 All Trim, Casing and Flashing to be applied first followed by siding
 All Window and Door Casing to be Hardi Trim
 All Trim to be Hardi Trim - Corner Trim 1x8 Freize 1x8
 All Siding to be Hardi Plank 6" Reveal
 Board and Batten to be Hardi Panel and Hardi Trim 1x3 @ 16" O.C.
 See Detail Sht A13 - Deck Trim
 Roof to be Standing Seam Aluminum



1 REAR ELEVATION
 Scale: 1/4" = 1'-0"

TITLE		
FINAL SET D - 01/22/25		
FILE NAME		
Cubero Final - 01-22-25		
NO.	REVISION/ISSUE	DATE
1	Galv. Coastal Updates	12/17
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DRAWN BY	S. CULWELL	SHEET	
DATE	01/22/25		A14
SCALE	SHOWN		of 22

TITLE FINAL SET D - 01/22/25		
FILE NAME Cubero Final - 01-22-25		
NO.	REVISION/ISSUE	DATE
1	Galv. Coastal Updates	12/17
2	REMOVE ELEVATED SLAB	01/22/25
3		
4		
5		
6		

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DRAWN BY S. CULWELL	SHEET
DATE 01/22/25	A15
SCALE SHOWN	of 22



1 LEFT SIDE ELEVATION
 Scale: 1/4" = 1'-0"

TITLE		
FINAL SET D - 01/22/25		
FILE NAME		
Cubero Final - 01-22-25		
NO.	REVISION/ISSUE	DATE
1	Galv. Coastal Updates	12/17
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DRAWN BY	S. CULWELL	SHEET	
DATE	01/22/25		A16
SCALE	SHOWN		of 22

Note:
 All Trim, Casing and Flashing to be applied first followed by siding
 All Window and Door Casing to be Hardi Trim
 All Trim to be Hardi Trim - Corner Trim 1x8 Freize 1x8
 All Siding to be Hardi Plank 6" Reveal
 Board and Batten to be Hardi Panel and Hardi Trim 1x3 @ 16" O.C.
 See Detail Sht A13 - Deck Trim
 Roof to be Standing Seam Aluminum



1 RIGHT SIDE ELEVATION
 Scale: 1/4" = 1'-0"

D – Site Photos



North
12-16-2024



East
12-16-2024



South
12-16-2024



West
12-16-2024



South of LOV
12-16-2024



South of LOV (2)
12-16-2024

E – GLO
Comment Letter



TEXAS GENERAL LAND OFFICE
COMMISSIONER DAWN BUCKINGHAM, M.D.

January 31, 2025

Via Electronic Mail

Hunter Cummings
Deputy Coastal Resources Manager
Development Services Department
City of Galveston
3015 Market St.
Galveston, Texas 77550

Beachfront Construction Certificate and Dune Protection Permit in the City of Galveston

Site Address: 11395 Beachside Drive, Galveston
Legal Description: Beachside Village Sec 4 (2016) ABST 121, Lot 430, Acres 0.3488
Lot Applicant: Egret Bay Builders, LLC – Dana Lee c/o Ignacio and Camila Cubero
Case Number: 24BF-137
GLO ID No.: BDCOG-24-0236

Dear Mr. Cummings:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes the large-scale construction of a single-family residence with unreinforced fibercrete paving beneath the footprint of the structure and an unreinforced fibercrete driveway. The proposed construction is located within 200 feet of the line of vegetation, within the Enhanced Construction Zone, and adjacent to the Dune Conservation Area. According to the Bureau of Economic Geology, the area is eroding at a rate of eight to nine feet per year.

Based on the information provided to our office for review, we have the following comments:

- Paving used under the habitable structure and for driveways connecting the habitable structure and the street is limited to the use of unreinforced fibercrete in 4-foot by 4-foot sections, a maximum of 4 inches thick with section separated by expansion joists, or pervious materials approved by the Department of Development Services, in that area 25 feet landward of the north toe of the dune to 200 feet landward of the line of vegetation.¹
- The construction standards in the City's Erosion Response Plan state that a dune enhancement or restoration project consistent with the definition for restored (man-made) dunes provided in the City of Galveston Dune Protection and Beach Access Plan shall be completed prior to the commencement of proposed construction. In cases where completion of an enhancement or restoration project is deemed infeasible due to site constraints as determined by the Department

¹ City of Galveston Dune Protection and Beach Access Plan § P(2).

of Planning and Community Development, payment of a fee-in-lieu of satisfying the requirement shall be made to the City.² The City has provided confirmation that this standard will be met.

Please be advised structures may not encroach on the public beach. If the structure becomes located seaward of the line of vegetation because of loss of elevation, the structure may be allowed to remain in place if it does not significantly interfere with public access to the beach or present a public health and safety risk. Structures located seaward of the line of vegetation and landward of the line of mean high tide may be allowed to make certain repairs under the Beach/Dune rules and local government plans.

If any part of a structure comes to be located seaward of the line of mean high tide, it becomes an unauthorized structure on state-owned land. Repairs are prohibited and the state may take action to remove the structure.

In the event of a material change to the site conditions or the proposed construction, a new or amended beachfront construction certificate and dune protection permit is required.³ If you have any questions, please contact me at (512) 463-1278 or at michelle.leslie@glo.texas.gov.

Sincerely,



Michelle Leslie
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

² City of Galveston Dune Protection and Beach Access Plan Appendix C § 5.3(6).

³ 31 Tex. Admin. Code § 15.3(t)(5).



25ZA-001

STAFF REPORT

APPLICANT:

Development Services
Department

REQUEST:

Text Amendment

APPLICABLE ZONING LAND USE

REGULATIONS:

Land Development Regulations,
Article 13: Permits and
Procedures

PROPOSED TEXT AMENDMENT:

Establish a fee for Galveston
Landmark Designation and
replacement Galveston Landmark
Plaques

EXHIBITS:

- A – Galveston Landmark Plaque
Photograph
- B – Proposed Text Amendment

STAFF:

Catherine Gorman, AICP
Assistant Director/Historic
Preservation Officer
409-797-3665
cgorman@galvestontx.gov

Executive Summary:

Staff is requesting a text amendment to Article 13: Permits and Procedures of the Land Development Regulations to establish fees for Galveston Landmark Designation and replacement Galveston Landmark plaques.

The Development Services Department has been researching suppliers for Galveston Landmark plaques, as our current inventory is low. These plaques are awarded to property owners upon the designation of a building as a Galveston Landmark and are intended to be displayed on the building. The existing plaques are 8 inches in diameter, made of resin, and feature the City seal along with the words "Galveston Landmark." Staff has identified a manufacturer to produce new plaques, which will retain the same design but be upgraded from resin to aluminum for improved durability.

To offset production costs, Staff is proposing a new \$100 fee for Galveston Landmark designation, as well as a fee for replacement plaques. Since the new plaques will be made of higher-quality material, we anticipate that some owners of previously designated landmarks may choose to replace their resin plaques with the new aluminum version.

Staff plans to order 100 plaques. Given that the City has averaged nine new designations per year, this order is expected to last more than a decade.

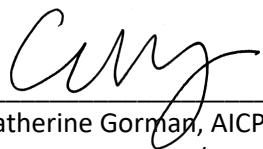
Other Reviews:

The Landmark Commission will review this request at their March 3, 2025 meeting. The City Council has the final decision authority on Text Amendments and will review this request at their March 27, 2025 meeting.

Recommendation

Staff recommends approval as submitted.

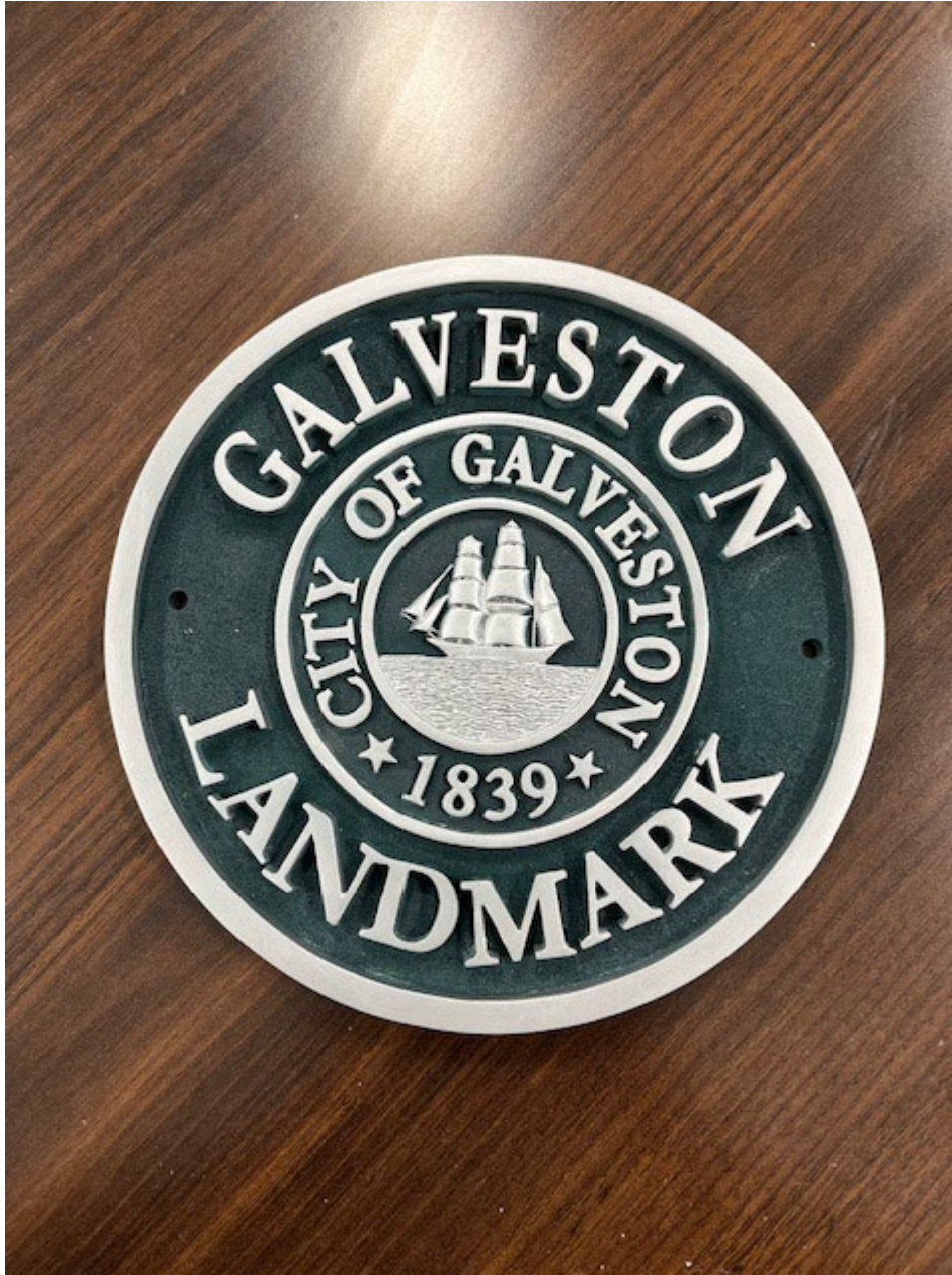
Respectfully Submitted,



 Catherine Gorman, AICP
 Assistant Director/HPO

02/24/2025

 Date



Division 13.1100 Fees (ORD. 18-037)

SEC. 13.1101 AUTHORITY TO ESTABLISH FEES

A. **Generally.** Fees for the administration of these regulations shall be established as provided in Table 13.1101, below.

Table 13.1101	
ZONING	
Zoning Change (includes SUP, Zoning Text Change, and Classification of New and Unlisted Use)	\$1,000 (plus cost of signage and associated fees)
Planned Unit Development (PUD)	\$1,200 Master/Concept Plan and Revision; and, \$300 Minor Amendment to PUD Plan (admin)
Galveston Landmark Designation	\$100
Variance	\$375
Appeal	\$350
Zoning Verification Letter	\$100
Zoning Analysis	\$500
Certificate of Zoning Compliance (COZC)	\$100
SUBDIVISION	
Minor Plat	\$250
Preliminary Plat	\$750
Final Plat	\$750
Subdivision Variance	\$375
REAL ESTATE	
Abandonment	\$1,000 application plus fair market value
BEACHFRONT	
Beachfront Construction and Dune Protection Permit	\$500 (plus \$200 fibercrete maintenance fee per state, when applicable)
Beachfront Construction and Dune Protection Permit – Planning Commission Review	\$750 (plus \$200 fibercrete maintenance fee per state, when applicable)
Beach Maintenance Permit	\$500
DEVELOPMENT	
Site Plan Review	\$100 Residential, \$200 Commercial, \$500 HDDZ, and \$50 Historic
Height and Density Development Zone (HDDZ) Design Review	Based on professional services cost
Sign	\$100
Tree Mitigation	\$125 per caliper inch up to 12 inches and \$200 per caliper inch more than 12 inches
LANDMARK	
New Construction	\$250
Demolition	\$500
MISCELLANEOUS	
GIS Map	\$100 per linear foot
Plot Plan Reproduction	\$50 per page
Galveston Landmark Plaque	\$100